



New Project Information

The City of Rocklin is processing the below referenced application(s) for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved a hearing date will be set and public notice provided to alert neighbors and interested parties of the hearing date, availability of project information, the opportunity to comment on the project.

Application Received: April 15, 2021

Project Name and Requested Approvals:

HAMPTON INN & SUITES

Use Permit – U2021-0003

Design Review – DR2021-0006

Staff Description of Project:

Request for approval of a Use Permit and Design Review to construct an approximately 62,000 square foot, 4-story hotel on two parcels totaling approximately 2.7 acres. The hotel would contain 101 guest rooms and would include a porte cochere (covered vehicle area), swimming pool, cabana, pool equipment building, trash enclosure, smoking canopy and a sport court. Site improvements would include associated parking and landscaping and on-site stormwater detention basins.

Location:

South side of Granite Drive, approximately 200 feet west of intersection of Sierra College Boulevard and Granite Drive, west of the existing ARCO gas station.

Assessor's Parcel Numbers (APNs) 045-041-018 & -019

Existing Land Use Designations:

The property is designated Retail Commercial (RC) in the Rocklin General Plan and is zoned Planned Development Commercial (PD-C).

This project does / XX does not require modification or change of the land use designations and regulations currently applicable to the project site.

Compliance with the California Environmental Quality Act:

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) has tentatively identified a Mitigated Negative Declaration as the appropriate level of environmental review for this project.

Applicant & Property Owner:

The property owner and applicant Jaskaran Enterprises, Inc.

Attached Information:

For additional detail, please visit the following link:

<https://www.rocklin.ca.us/post/>



City of Rocklin

Planning Division
3970 Rocklin Road
Rocklin, California 95677
Phone (916) 625-5160 FAX (916) 625-5195



UNIVERSAL APPLICATION FORM

NAME OF PROJECT: Rocklin Hampton Inn & Suites

LOCATION: Lot west of 4280 Sierra College Boulevard, Rocklin, CA 95677

ASSESSOR'S PARCEL NUMBERS: 045-041-018 & 045-041-019

DATE OF APPLICATION (STAFF): _____ **RECEIVED BY (STAFF INITIALS):** _____

FILE NUMBERS (STAFF): DR 2021-1006 / U2021-003 **FEES:** 23,030.00

RECEIPT No.: 442257

Pre-Application Meeting Requirements:

It is required that a pre-application meeting be held with a Staff Planner prior to submitting most applications for planning entitlements and permits. The purpose of the pre-application meeting is to expedite application processing by enabling staff to work with the applicant to assure that the officially submitted application materials are in the proper format and that the applicant understands the City of Rocklin's goals, policies, and ordinances that may affect the project. A copy of these and other planning provisions is available at the applicant's request.

Generally, two sets of preliminary plans and a written description of the proposed project should be brought with the applicant to the pre-application meeting. To schedule this meeting, please contact a Staff Planner at the Rocklin Community Development Department by calling (916) 625-5160.

DATE OF PRE-APPLICATION MEETING: 08/22/2019

THIS APPLICATION IS FOR THE FOLLOWING ENTITLEMENTS: (CHECK APPROPRIATE SQUARES)

- | | | |
|---|---|--|
| <input type="checkbox"/> General Plan Amendment (GPA)
Fee: | <input type="checkbox"/> Tentative Subdivision Map (SD)
Fee: | <input checked="" type="checkbox"/> Use Permit (U)
<input type="checkbox"/> Minor (PC Approval - New Bldg) Fee:
<input type="checkbox"/> Minor (PC Approval - Existing Bldg) Fee:
<input type="checkbox"/> Major (CC Approval) Fee: |
| <input type="checkbox"/> BARRO Zone Application (BZ)
Fee: | <input type="checkbox"/> Tentative Parcel Map (DL)
Fee: | <input type="checkbox"/> Variance (V)
Fee: |
| <input type="checkbox"/> Rezone (Reclassification) (Z)
Fee: | <input checked="" type="checkbox"/> Design Review (DR)
Commercial Fee:
Residential Fee:
Signs Fee: | <input type="checkbox"/> Oak Tree Preservation Plan Permit
Planning Commission Fee:
City Council Fee: |
| <input type="checkbox"/> General Development Plan (PDG)
Fee: | | <input type="checkbox"/> Modification to Approved Projects
Fee: |
| <input checked="" type="checkbox"/> Concurrent Application (2 or more entitlements)
Fee: <u>17,347</u> | | |

File Number _____

Environmental Requirements (STAFF):

<input type="checkbox"/> Exempt -	<input type="checkbox"/> Mitigated Negative Declaration - <u>5,683</u>
<input type="checkbox"/> Negative Declaration -	<input type="checkbox"/> EIR - See Fee Schedule

UNIVERSAL APPLICATION FORM (CONT.)

GENERAL PLAN DESIGNATION:	PROPERTY DATA:	UTILITIES:	
Existing: <u>RETAIL COMM</u>	Acres: <u>2.66</u>	<input type="checkbox"/> Pub. Sewer	<input checked="" type="checkbox"/> Pub. Sewer
Proposed: <u>RETAIL COMM</u>	Square Feet: <u>115,869.6 sf</u> 422.64' x	<input type="checkbox"/> Septic Sewer	<input type="checkbox"/> Septic Sewer
Zoning:	Dimensions: <u>275.94'</u>	<input type="checkbox"/> Pub. Water	<input checked="" type="checkbox"/> Pub. Water
Existing: <u>PD-C</u>	No. of Units: <u>101 Guest Rooms</u>	<input type="checkbox"/> Well Water	<input type="checkbox"/> Well Water
Proposed: <u>PD-C</u>	Building Size: <u>61,689 sf</u>	<input type="checkbox"/> Electricity	<input checked="" type="checkbox"/> Electricity
	Proposed Parking: <u>101</u>	<input type="checkbox"/> Gas	<input checked="" type="checkbox"/> Gas
	Required Parking: <u>101</u>	<input type="checkbox"/> Cable	<input checked="" type="checkbox"/> Cable
	Access: <u>5 (included above)</u>		

PROJECT REQUEST: _____

Request for approval to construct an approximately 62,000sf, 4-story hotel, including site structures, on 2.66 acres as proposed within the included exhibits.

(Example: Request for approval of design review to construct a 10,000 square foot office building on 1.5 acres)

NOTE: Annexations, Lot Line Adjustments, and Rocklin Ranch Industrial Park Specific Plan Use Permits require special application forms and additional submittal information available from the Planning Division.

UNIVERSAL APPLICATION FORM (CONT.)

PLEASE PRINT OR TYPE:

NAME OF PROPERTY OWNER: Jaskaran Enterprises, Inc
ADDRESS: 5060 Monteverde Lane
CITY: Lincoln STATE: CA ZIP: 95648
PHONE NUMBER: 916-990-5751
EMAIL ADDRESS: bainsjaskaran@yahoo.com
FAX NUMBER: n/A

SIGNATURE OF OWNER Murara S Bains
(Signature Authorizing Application; provide owner's signature letter if signature is other than property owner.)

NAME OF APPLICANT
(If different than owner): Same as above.

CONTACT: _____
ADDRESS _____
CITY: _____ STATE: _____ ZIP: _____
PHONE NUMBER: _____
EMAIL ADDRESS: _____
FAX NUMBER: _____

SIGNATURE OF APPLICANT _____

AGENT AUTHORIZATION FORM

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name: Rocklin Hampton Inn & Suites
Location: Lot west of 4280 Sierra College Blvd, Rocklin, Ca 95677
Assessors Parcel Number(s): 045-041-018 & 045-041-019
Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.):
Name of person and / or firm authorized to represent property owner (Please print): Not applicable.
Address (Including City, State, and Zip Code):
Phone Number:
Fax Number:
Email Address:
The above named person or firm is authorized as: Agent (<input type="checkbox"/>) Buyer (<input type="checkbox"/>) Lessee (<input type="checkbox"/>)
The above named person or firm is authorized to (check all that are applicable): (<input type="checkbox"/>) File any and all papers in conjunction with the aforementioned request, including signing the application (<input type="checkbox"/>) Speak on behalf of and represent the owner at any Staff meeting and/or public hearing. (<input type="checkbox"/>) Sign any and all papers in my stead, with the exception of the application form.
The duration and validity of this authorization shall be: (<input type="checkbox"/>) Unrestricted (<input type="checkbox"/>) Valid until:
Owners Authorization Signature & Date:
Owners Name (Please Print):
Owners Address (Including City, State, and Zip Code):
Phone Number:
Email Address:

NOTIFICATION OF OWNERS OF MINERAL RIGHTS

Government Code section 6509a(a)(2) states that if the Subdivision Map Act requires notice to be given pursuant to Section 65091, in addition to noticing the surrounding property owners, notice must also be given to anyone who has filed with the County recorder's office a "notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code" on the subject property.

Therefore, mailing labels must be provided with this application for any owner of a mineral right pertaining to the subject real property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code (Subdivision Map Act Section 65091(a)(2)).

See page 24 of this application for instructions on how to submit mailing labels.

Section 65091(a)(2)

"(2) When the Subdivision Map Act (Div. d 9commencing with Section 66410)) requires notice of a public hearing to be given pursuant to this section, notice shall also be given to any owner of a mineral right pertaining to the subject property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code."

There **are** / **are not** (circle one) owner(s) of record of preserved mineral rights on the subject property and I, Jasakaran Bains, the applicant or applicant's representative, **have** / **have not** (circle one) provided the name and mailing address of record for any and all owners of mineral rights pursuant to Section 883.230 of the Civil Code.

Jasakaran Bains
Signature

12/31/19
Date

HAZARDOUS WASTE AND SUBSTANCES STATEMENT

Pursuant to California Government Code Section 56962.5, I have consulted the Hazardous Waste and Substances Sites List (Cortese List), consolidated by the State of California, Environmental Protection Agency and find that;

The project, including any alternatives, _____ is, is not (check which applies) located on a site which is included on the Hazardous Waste and Substances Sites List (Cortese List). If on the list, provide the following information:

Regulatory identification number: _____ Date of list: _____

Type of problem: _____

I declare under penalty of perjury of the laws of the State of California that the foregoing is true and correct.

Dated: 12/31/19

Applicant: Jaskaran Enterprises, Inc

Jaskaran S Bains

Applicants can verify this information by reviewing the Hazardous Waste and Substances Sites List (Cortese List), available for review at the City of Rocklin Planning Department counter, or at the California Department of Toxic Substance Control web site:

<http://www.calepa.ca.gov/SiteCleanup/CorteseList/default.htm>

MITIGATION FOR AIR QUALITY IMPACTS

The US Environmental Protection Agency (EPA) and the California Air Resources Board (CARB) have established air quality standards, referred to as the National Ambient Air Quality Standards (NAAQS) and the State Ambient Air Quality Standards (SAAQS) respectively. The federal Clean Air Act and State Clean Air Act both require that areas in violation of the ambient air quality standards adopt strategies to attain these standards. The Placer County Air Pollution Control District (APCD) has primary responsibility for planning and maintenance and/or attainment of air quality standards within Placer County. California is divided into 15 air basins for the purpose of monitoring air quality. Placer County is included in the Sacramento Valley Air Basin. Areas may be classified as attainment, non-attainment, or unclassified with regard to the adopted standards. The unclassified designation is assigned in cases where monitoring data is insufficient to make a definitive determination. Under the federal standards, all of Placer County, including Rocklin, is designated as non-attainment for ozone. All other pollutants are designated unclassified in Rocklin. Under the state standards, South Placer, including Rocklin, is designated as non attainment for ozone and PM10 and unclassified for hydrogen sulfide and visibility reducing particulate.

The project would have the following short-term construction impacts, if not mitigated:

- a. Construction activities, including grading, would generate a variety of pollutants, the most significant of which would be dust (PM10). This would exacerbate the existing PM10 non attainment condition if not mitigated.
- b. Construction equipment would produce short-term combustion emissions, and asphalt materials used for streets and driveways would produce pollutants during curing.

The mitigation measures listed below will reduce the short term impacts to less-than-significant. In the long-term, vehicle trips to and from the project site would generate Carbon Monoxide and ozone precursor emissions, thereby contributing to the non-attainment status of the local air basin. These incremental and cumulative adverse air quality impacts cannot be completely mitigated. However, these impacts were anticipated by the City of Rocklin General Plan, and were addressed through the 1991 Rocklin General Plan EIR and the North Rocklin Circulation and Traffic Study. Findings of overriding significance were adopted for the unmitigatable and unavoidable significant air quality impacts.

Therefore, I, as the applicant for the proposed project, agree that the mitigation measures listed below are incorporated as a part of my project description in order to mitigate for the short term impacts.

MITIGATION FOR AIR QUALITY IMPACTS (CONT.)

MITIGATIONS

1. The project shall conform with the requirements of the Placer County APCD.
2. Prior to commencement of grading, the applicant shall submit a dust control plan for approval by the City Engineer and the Placer County Air Pollution Control District. The plans shall specify measures to reduce dust pollution during all phases of construction.
3. Traffic speeds on all unpaved road surfaces shall be posted at 25 m.p.h. or less.
4. All grading operations shall be suspended when wind speeds exceed 25 m.p.h.
5. All trucks leaving the site shall be washed off to eliminate dust and debris.
6. All construction equipment shall be maintained in clean condition.
7. All exposed surfaces shall be revegetated as quickly as feasible.
8. If fill dirt is brought to the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
9. Apply water or dust palliatives on all exposed earth surfaces as necessary to control dust. Construction contracts shall include dust control treatment as frequently as necessary to minimize dust.
10. Construction equipment shall be properly maintained and tuned.
11. Utilize low emission mobile construction equipment where possible.
12. Open burning of vegetative material is prohibited.

Jaskaran Enterprises, Inc (Jaskaran Bains)
Applicant's Name (printed)

Jaskaran S Bains
Applicant's Signature

12/31/19
Date



City of Rocklin

Planning Division
3970 Rocklin Road
Rocklin, California 95677
Phone (916) 625-5160 FAX (916) 625-5195

ENVIRONMENTAL INFORMATION SHEET

(To be completed by
applicant)

LOCATION OF PROJECT (ADDRESS) Lot west of 4280 Sierra College Boulevard, Rocklin, CA 95677

ASSESSORS PARCEL # 045-041-018 & 045-041-019

NAME OF PROJECT Rocklin Hampton Inn & Suites

CONTACT/APPLICANT Jasharan Enterprises, Inc (Jasharan Bains)

ADDRESS 5060 Monteverde Lane

PHONE 916-990-5751

EMAIL bainsjasharan@yahoo.com

Project Description - Describe in detail. Add separate sheet if necessary.

Project includes the new construction of an approximately 62,000sf, 4-story hotel with 101 guest rooms including a porte cochere, pool, cabana / pool equipment building, trash enclosure, smoking canopy and a sport court. Site improvements include the preservation of existing oak trees, new landscaping and an on-site storm water detention basins across the 2.66 acre site.

Property size:	<u>115,869.6 sf</u>	<u>2.66 ac</u>
	Square Feet	Acres
Land Use:	<u>RETAIL COMM (PD-C)</u>	<u>RETAIL COMM (PD-C)</u>
	Existing	Proposed

RELATED PROJECTS: If this project is a part or portion of a larger project, describe the previous project by name, general development plan number, or other project identification. _____

PREVIOUS ENVIRONMENTAL DOCUMENTS: If this project is part of a larger project for which a negative declaration or an environmental impact report has been prepared and certified, reference the document below. Include the date and SCH#, if possible: N/A

OTHER REQUIRED PERMITS OR APPROVALS:

Permit or Approval	Agency	Address	Contact Person/Phone
<u>404 (Eel Wetland)</u>	<u>ECORP</u>	<u>225 Warren Dr. Rocklin, Ca 95677</u>	<u>Keith Kwan (916) (782-9100)</u>
<u>401 (State Wetland)</u>	<u>ECORP</u>	<u>2525 Warren Dr Rocklin, Ca 95677</u>	<u>Keith Kwan (916) (782-9100)</u>

PREVIOUS LAND USES: Describe existing and previous land uses of the site for the last 10 years or more: Vacant undeveloped land.

SITE CHARACTERISTICS

1. What natural features (trees, rock outcroppings etc.) presently exist on the site?

Native oak trees, refer to Arborist Report.

2. What are the surrounding land uses?

East Gas Station / C-Store West Future Tractor Supply Building North Vacant Land South Comm Development (Target, etc.)

3. Is the project proposed on land which contains fill or a slope of 10% or more? no

4. Are there any existing erosion problems? no

5. Is the site on expansive soils (as defined in Table 18 of the UBC) or immediately adjoining an area subject to slides, liquefaction, slope instability or other related hazards? no

If so, describe in detail, or refer to attached soils report.

6. Grading, excavating or filling activities - Quantity of cubic yards to be:

a. Moved within the site 3,000 CY

b. Deposited on the site 1,000 CY, additional needed

c. Removed from the site 0 CY

Disposal site To be determined.

7. Are there any streams or permanent water courses on the site? No.

Describe _____

8. Will the proposed project change drainage patterns or the quality of groundwater?

If so explain. If not, why not. unknown

9. Will the project affect any drainage channel, creek, pond or any other water body?

Describe below: unknown

10. Is any portion of the property located in a flood plain? no
If so describe _____
11. Are there any jurisdictional wetlands or vernal pools on the site? If so how will they be impacted by the project? Seasonal wetland swale is present and will be filled.
A USACE 404 Nationwide Permit is in preparation.
12. Are there any trees or shrubs on the project site? Yes, trees.
What types? Refer to Arborist Report.
Are any to be removed or transplanted? Refer to Arborist Report.
State the location of transplant site: Refer to Arborist Report.
State the number & species to be removed: Refer to Arborist Report.
13. Will the project affect the habitat of any endangered, threatened, or other special status species?
The seasonal wetland swale could be habitat for non-listed special status plants.
14. Will the project result in any new noise source, or will it place new residents in an area of high traffic noise or noise from any other source? A noise study is being prepared.
15. What type of equipment will be associated with the project during construction?

During permanent operation?

16. Describe any air pollutants, other than vehicle exhaust, which would be generated by this project, both during and after construction. Dust particulates are considered pollutants.
An air quality study is being prepared.
17. Will the project produce new sources of dust, ash, smoke, fumes or objectionable odor? If yes, describe the source of the emission, methods to control emissions and means of mitigating those effects on adjacent properties: An air quality study is being prepared.
18. Will the project create any new light source, other than street lighting? If yes, describe below:
Pole lighting for on-site parking and building lights, refer to Photometric Site Plan.
19. Is this property covered by a Williamson Act contract? no
20. Has this property ever been used for agricultural purposes? Unsure If so, for what purpose and when? 1952 historical photo shows possible orchard with some trees but they are gone in the 1957 historical photo
21. Does the project involve the use of routine transport or disposal of hazardous materials?
no
22. Are there any known mineral resources of value to the region and the residents of the state located on the site? If so, what types? no
23. How close is the nearest school? 2.1 miles

24. PROPOSED BUILDING CHARACTERISTICS (BOTH RESIDENTIAL AND NON-RESIDENTIAL)

Size of new structure(s) or addition in gross square feet: 61,689 sf
 Building height measured from ground to highest point in feet: 53'-10"
 Number of floors/stories: 4
 Height of other appurtenances (antennas, steeples, mechanical equipment, etc.) measured from ground: Not applicable.
 Project site coverage: Building 16,039 sq.ft. 14 %
 Landscaping 39,222 sq.ft. 34 %
 Paving 60,608.6 sq.ft. 52 %
 Exterior building materials: Exterior plaster, cultured stone veneer, phenolic resin panels.
 Exterior building colors: Shades of grey, off-white, blue accent. Refer to Material Board.
 Wall and/or fencing material: Exterior plaster over CMU; Concrete Masonry Units.
 Total number of off-street parking spaces required: 101 Provided: 101
 Total number of bicycle parking spaces: 12 (6 long term, 6 short term)

25. Is there any exposed mechanical equipment associated with the project? Yes.
 Location and screening method Ground Floor along the Building at the South Elevation. Screened with horizontal wood fencing, painted to match the building.

26. RESIDENTIAL PROJECTS

Total lots _____ Total dwelling units _____
 Density/acre _____ Total acreage _____

	Single Family	Two Family	Multi-Family (More than 2 units)
Number of Units			
Size of lot/unit			
Studio			
1 Bedroom			
2 Bedroom			
3 Bedroom			
4+ Bedroom			

27. RETAIL, COMMERCIAL, INDUSTRIAL, INSTITUTIONAL OR OTHER PROJECT

Type of use(s): Hotel
 Oriented to: Regional City _____ Neighborhood _____
 Hours of operation: _____
 Total occupancy/Building capacity: 288
 Gross floor area: 61,689 sf Number of fixed seats: 21
 Number of employees (total): _____ Employees per shift: _____ Number of Shifts _____
 Number of visitors/customers on site at busiest time (best estimate): _____
 Other occupants (specify): _____

ALL PROJECTS

28. Approximately how many tons of solid waste will the project produce each year? unknown

29. Will the proposed use involve any toxic or hazardous material? No.
 Is the project site within 2,000 feet of an identified hazardous/toxic site? _____
 Is the project site within 2,000 feet of a school or hospital? No.
 If the project involves any hazardous material, explain: No.

30. How many new residents is the project estimated to generate? none - hotel
31. Will the project generate a demand for additional housing? no
32. What is the current and estimated number of motor vehicles to arrive at the site as a result of the project? unknown
33. Could the project increase traffic hazards to motor vehicles, bicyclists or pedestrians? No.
 If yes, explain _____
34. How close is the project to the nearest public park or recreation area? 1.7 miles (Sierra Meadows)
35. What school districts will be affected by this project? Rocklin USD
36. Describe energy-efficient features included in the project. Electric vehicle charging stations, building envelope meeting latest energy standards, LED lighting throughout, mechanical and plumbing system and equipment meeting latest energy standards, solar ready roof top.
37. Describe how the following services or utilities will be provided:
 Power and Natural Gas Local Utility District - See Page 26 of this Application.
 Telephone Local Utility District - See Page 26 of this Application.
 Water Local Utility District - See Page 26 of this Application.
 Sewer Local Utility District - See Page 26 of this Application.
 Storm Drainage Local Utility District - See Page 26 of this Application.
 Solid Waste Local Utility District - See Page 26 of this Application.
38. Will the project block any vista or view currently enjoyed by the public? No.
39. Are there any known historic or significant building features on or near the site? If so, will the project result in any impact to the building? No.
40. Are there any archaeological features on the site? Unknown. If so, will the project result in any impact to these features? _____

HAMPTON INN & SUITES - ROCKKLIN

LOT W. OF 4280 SIERRA COLLEGE BLVD, ROCKKLIN, CA 95677



OWNER
CONTRACTOR
This drawing is not final or to be used for construction until it is signed by the architect and the owner

PLANNING DEPARTMENT SUBMITTAL
HAMPTON INN & SUITES - ROCKKLIN
LOT W. OF 4280 SIERRA COLLEGE BLVD, ROCKKLIN, CA 95677

SHEET INDEX

PLANNING - ARCHITECTURE	
A0	COVER SHEET
A1	SITE PLAN
A2	OVERALL GROUND FLOOR PLAN
A3	OVERALL TYPICAL FLOOR PLAN
A4	ROOF PLAN
A5	EXTERIOR ELEVATIONS - OVERALL
A6	EXTERIOR ELEVATIONS - OVERALL
A7	EXTERIOR ELEVATIONS - SITE STRUCTURE
A8	BUILDING SECTION
A9	OAK TREE PRESERVATION PLAN
A10	MATERIAL BOARD
PLANNING - CIVIL	
C1	GRADING & DRAINAGE PLAN
C3	UTILITY COMPOSITE PLAN
C4	STORM WATER QUALITY CONTROL PLAN
PLANNING - LANDSCAPE	
L1	PRELIMINARY LANDSCAPE PLAN
L2	PRELIMINARY IRRIGATION PLAN
PLANNING - ELECTRICAL	
E1	PHOTOMETRIC STUDY

GUEST UNIT MATRIX

	FLOOR AREA (SF)	KING STUDIO		DOUBLE QUEEN STUDIO		ONE BEDROOM		TOTAL
		KING STUDIO	KING STUDIO ACCESSIBLE	Q/Q STUDIO	Q/Q STUDIO ACCESSIBLE	ONE BED KING	ONE BED KING ACCESSIBLE	
LEVEL 1	15,451 SF	7	1	0	0	3	0	11
LEVEL 2	14,922 SF	8	0	12	1	6	1	28
LEVEL 3	14,869 SF	8	0	15	1	6	1	31
LEVEL 4	14,869 SF	8	0	15	1	6	1	31
SUBTOTAL		31	1	42	3	21	3	101
TOTAL	60,111 SF							
PERCENTAGES		32%		45%		23%		100%

PLANNING DEPARTMENT SUBMITTAL
04/13/2021

PROJECT TEAM

OWNER **JASKARAN ENTERPRISE, INC.**
5060 MONTEVERDE LANE
LINCOLN, CALIFORNIA 95658
(916) 990-5751

ARCHITECT **DVB architecture**
5221 DEER VALLEY ROAD, # 150
RESCUE, CALIFORNIA, 95672
(916) 316-6759

CIVIL **DALE G. MELL & ASSOCIATES**
2090 N. WINERY AVENUE
FRESNO, CALIFORNIA 93703
(559) 292-4046

LANDSCAPE **WILSON DESIGN STUDIO**
1631 ALHAMBRA BLVD, SUITE 100
SACRAMENTO, CALIFORNIA 95816
(916) 524-5614

NOT FOR CONSTRUCTION

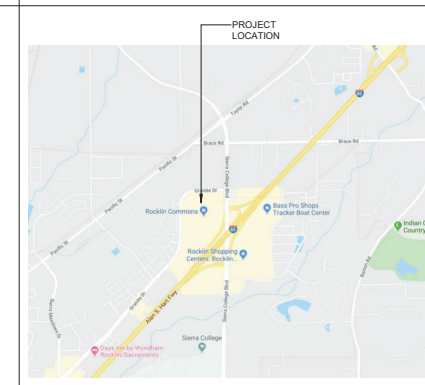
12/23/19 PLANNING DEPARTMENT SUBMITTAL

COVER SHEET

Project Number
18061
Drawn By
HG
Checked By
JJD

A0

VICINITY MAP



PARKING COUNT

GUEST ROOMS	101
REGULAR STALLS	101
REQUIRED PARKING	101
TOTAL PARKING	101
ACCESSIBLE PARKING (INCL. ABOVE)	5 = OK
BICYCLE PARKING (SHORT TERM)	6
BICYCLE PARKING (LONG TERM)	6
APN: 045-041-018 & 045-041-019	
ZONING - PD-C (PLANNED DEVELOPMENT COMMERCIAL)	
GENERAL PLAN - RETAIL COMMERCIAL	

SITE PLAN LEGEND:

- ACCESSIBLE PATH OF TRAVEL
- DETECTABLE WARNING SURFACE

5221 DEER VALLEY ROAD, # 150
RESOLVE, CALIFORNIA, 95672
(916) 316-6759
josh@dibarchitecture.com

OWNER
CONTRACTOR
This drawing is not final or to be used for construction until it is signed by the architect and the owner.

PLANNING DEPARTMENT SUBMITTAL
HAMPTON INN & SUITES - ROCKLIN
LOT W. OF 4280 SIERRA COLLEGE BLVD, ROCKLIN, CA 95677

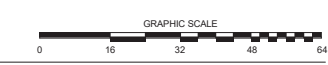
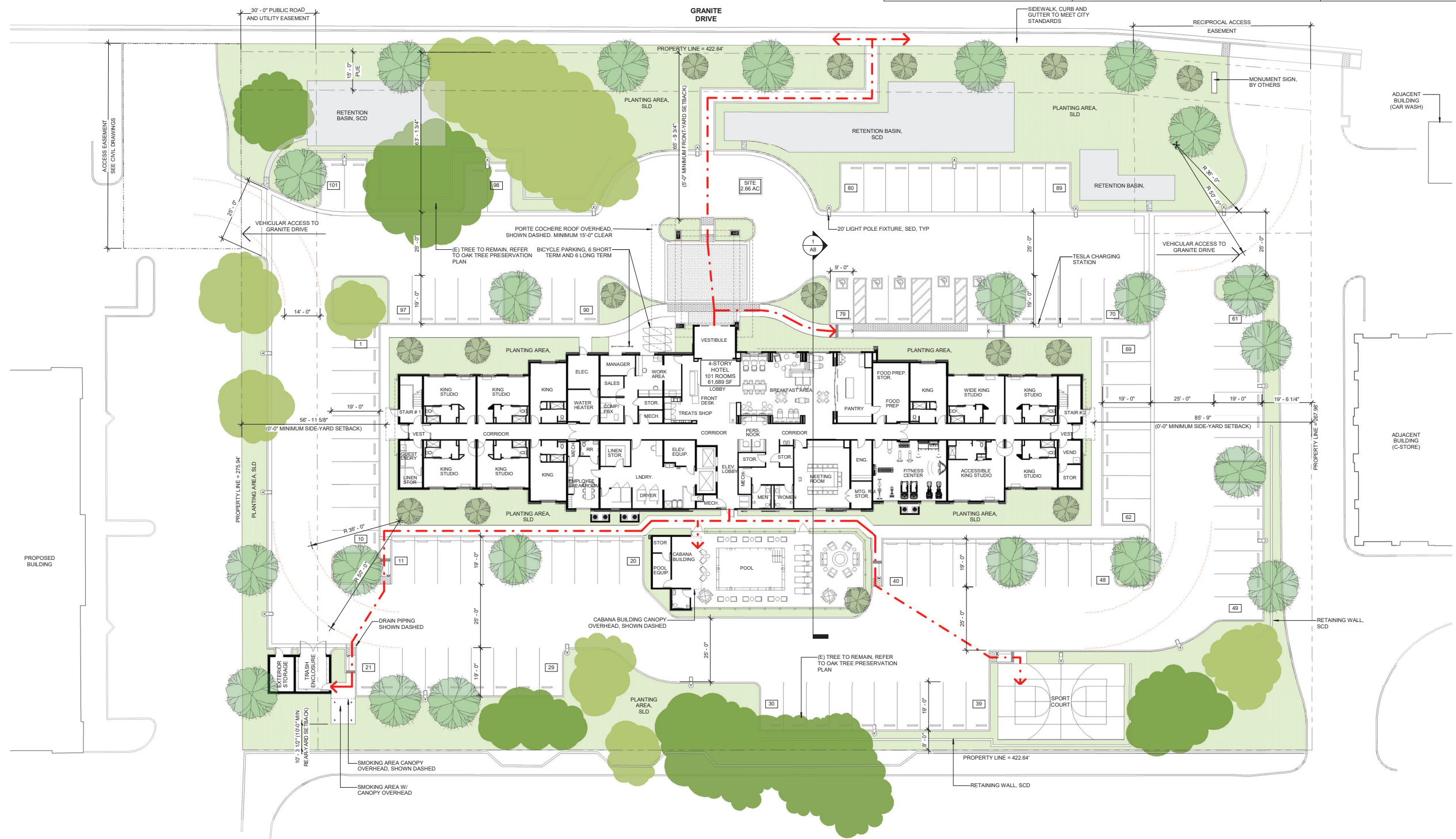
NOT FOR CONSTRUCTION

12/23/19 PLANNING DEPARTMENT SUBMITTAL

SITE PLAN

Project Number 18061
Drawn By HG
Checked By JJD

A1



1

SITE PLAN

OWNER _____
CONTRACTOR _____
This drawing is not final or to be used for construction until it is signed by the architect and the owner.

PLANNING DEPARTMENT SUBMITTAL

HAMPTON INN & SUITES - ROCKLIN

LOT W. OF 4280 SIERRA COLLEGE BLVD, ROCKLIN, CA 95677

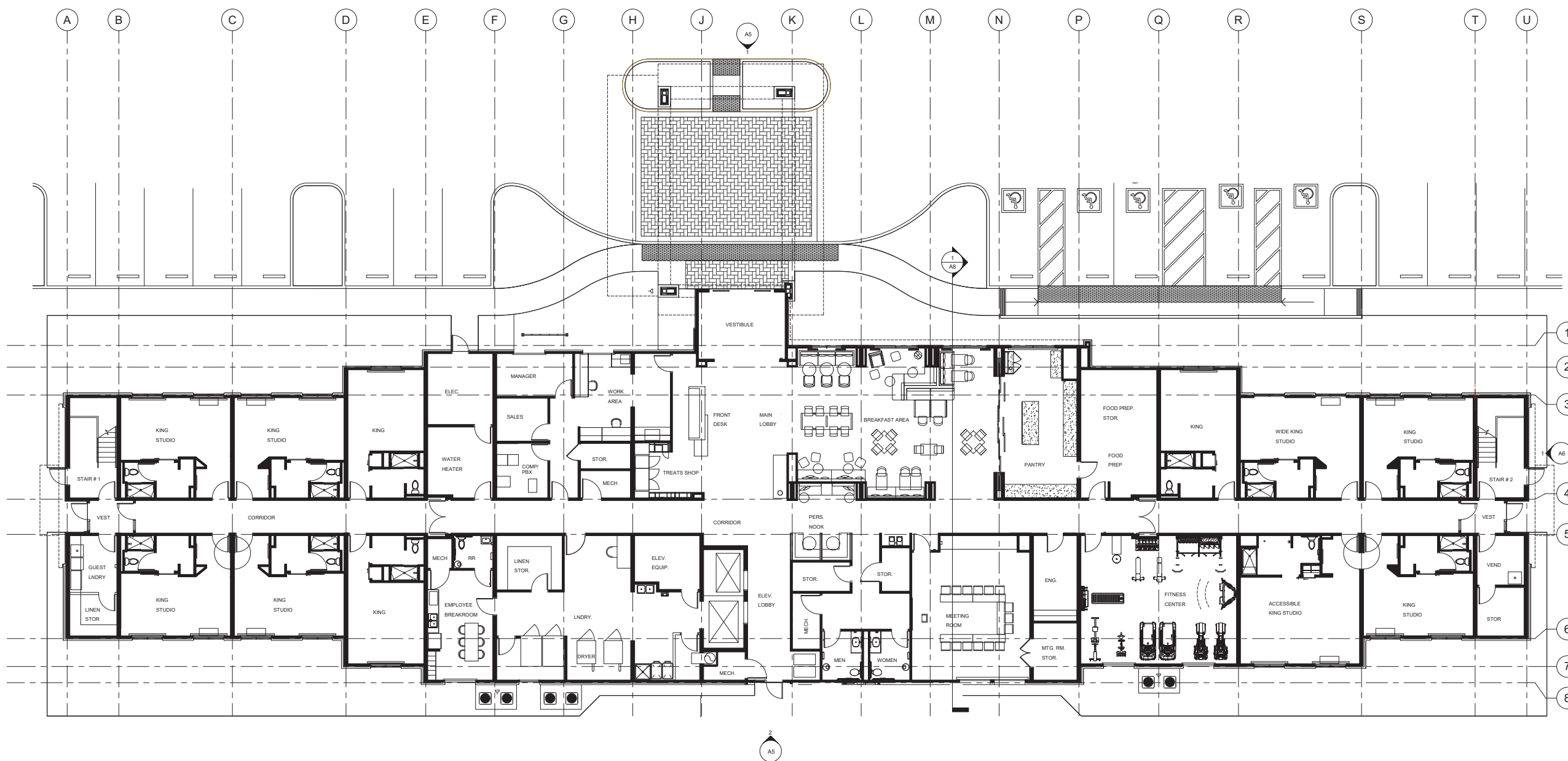
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12/23/19 PLANNING DEPARTMENT SUBMITTAL

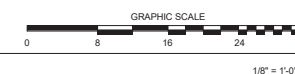
OVERALL GROUND FLOOR PLAN

Project Number
18061
Drawn By
HG
Checked By
JJD

A2



OVERALL GROUND FLOOR PLAN



1

OWNER _____
CONTRACTOR _____
This drawing is not final or to be used for construction until it is signed by the architect and the owner.

PLANNING DEPARTMENT SUBMITTAL

HAMPTON INN & SUITES - ROCKLIN

LOT W. OF 4280 SIERRA COLLEGE BLVD, ROCKLIN, CA 95677

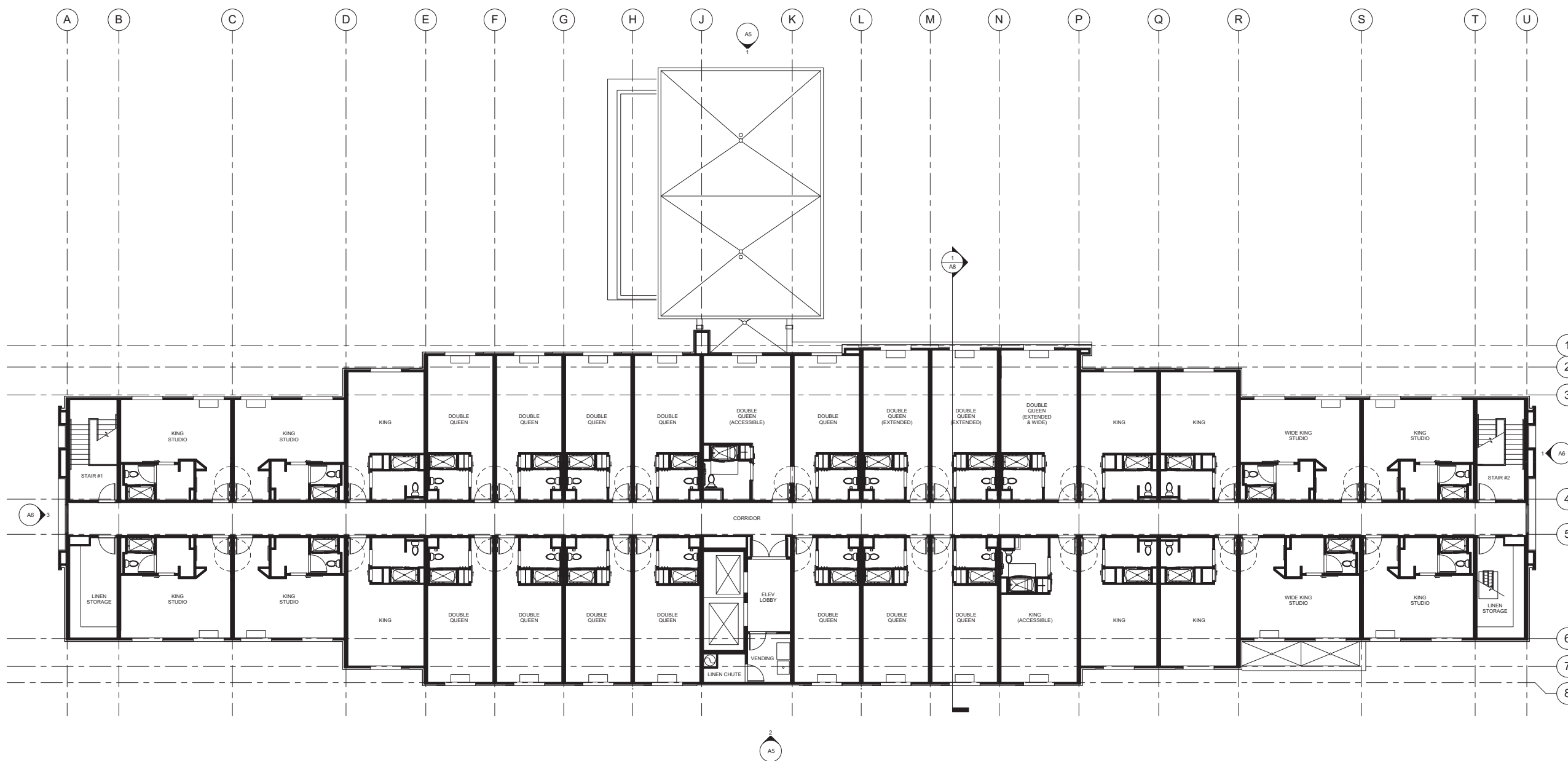
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12/23/19 PLANNING DEPARTMENT SUBMITTAL

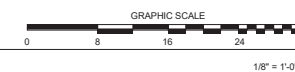
OVERALL TYPICAL FLOOR PLAN

Project Number
18061
Drawn By
HG
Checked By
JJD

A3



OVERALL TYPICAL FLOOR PLAN



1

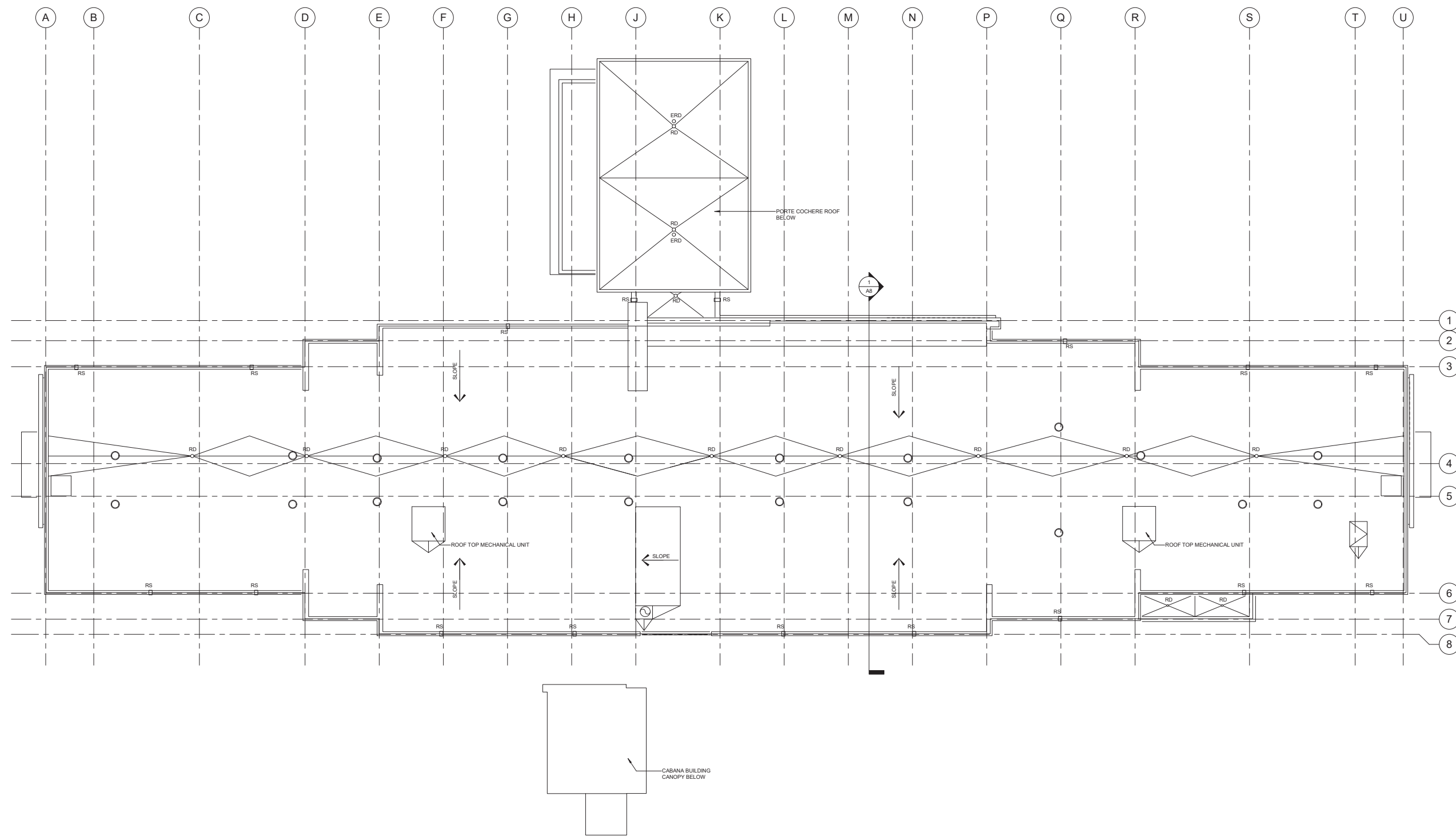
OWNER _____
 CONTRACTOR _____
 This drawing is not final or to be used for construction until it is signed by the architect and the owner.

PLANNING DEPARTMENT SUBMITTAL
HAMPTON INN & SUITES - ROCKLIN
 LOT W. OF 4280 SIERRA COLLEGE BLVD, ROCKLIN, CA 95677

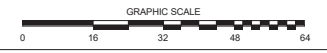
NOT FOR CONSTRUCTION

12/23/19 PLANNING DEPARTMENT SUBMITTAL

ROOF PLAN
 Project Number 18061 **A4**
 Drawn By HG
 Checked By JJD



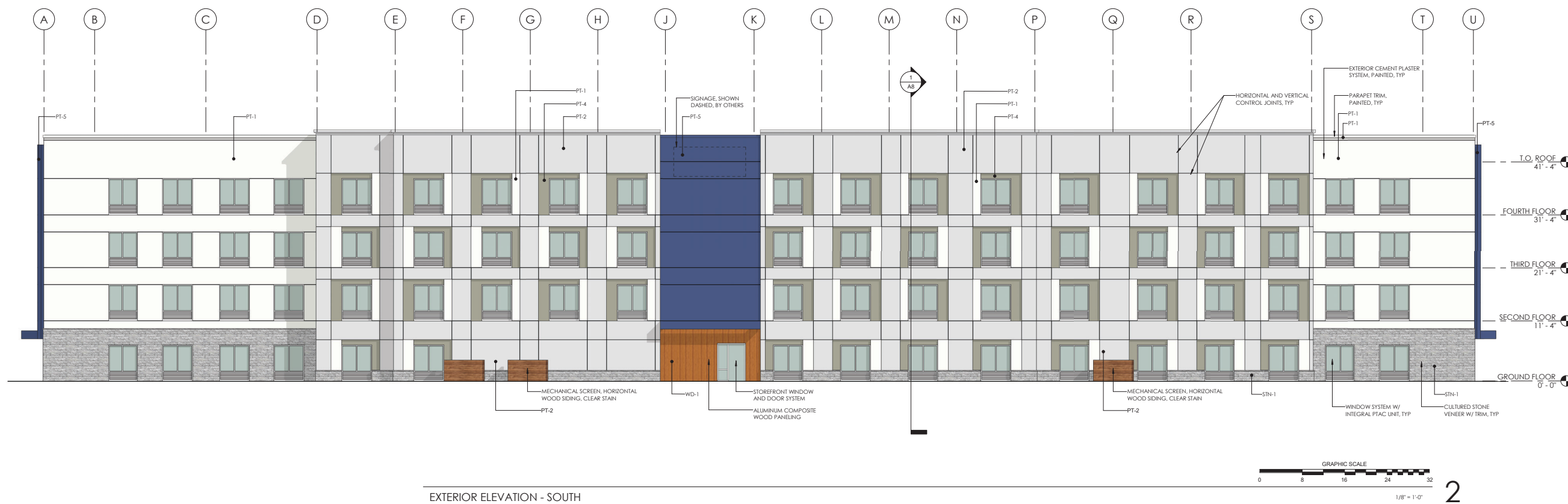
ROOF PLAN



1



EXTERIOR ELEVATION - NORTH



EXTERIOR ELEVATION - SOUTH

OWNER _____
CONTRACTOR _____
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PLANNING DEPARTMENT SUBMITTAL

HAMPTON INN & SUITES - ROCKLIN

LOT W. OF 4280 SIERRA COLLEGE BLVD, ROCKLIN, CA 95677

NOT FOR CONSTRUCTION

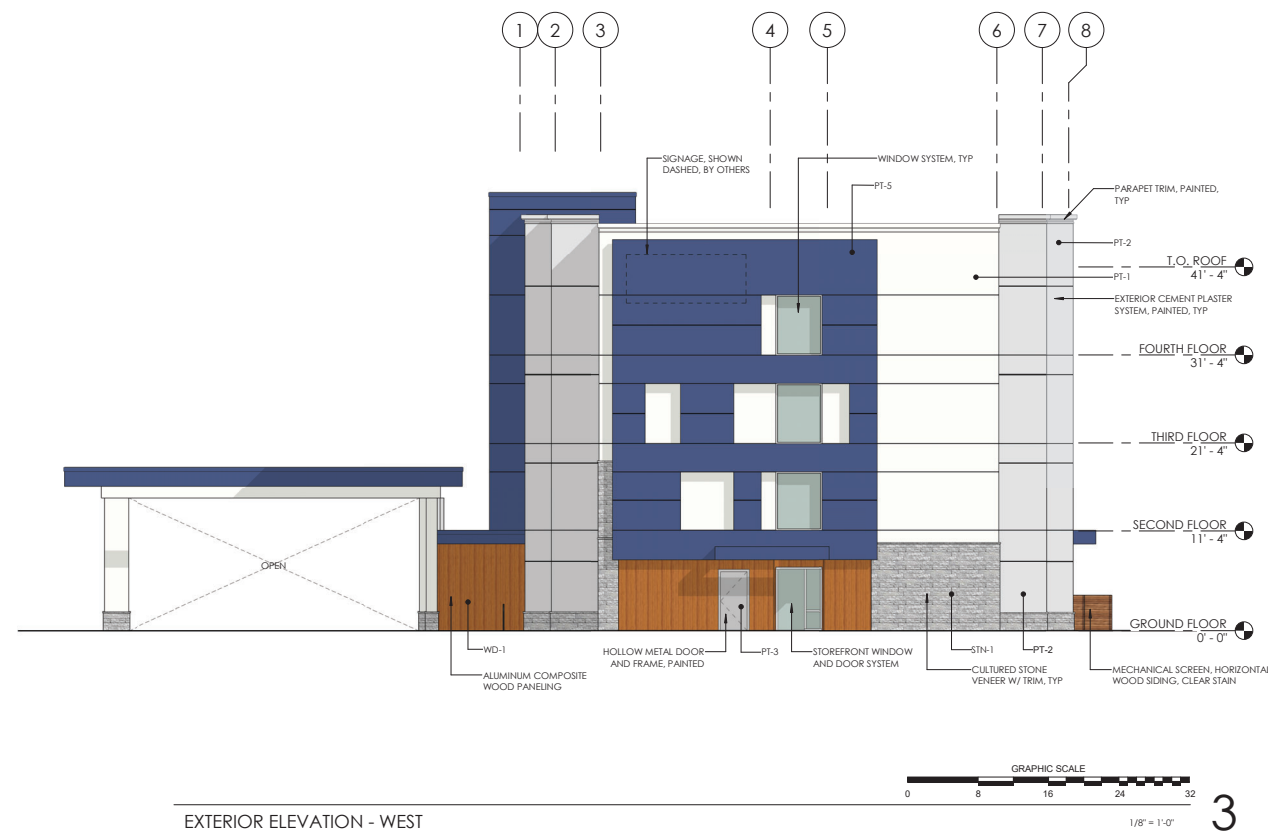
12/23/19 PLANNING DEPARTMENT SUBMITTAL

EXTERIOR ELEVATIONS - OVERALL

Project Number 18061
Drawn By HG
Checked By JJD

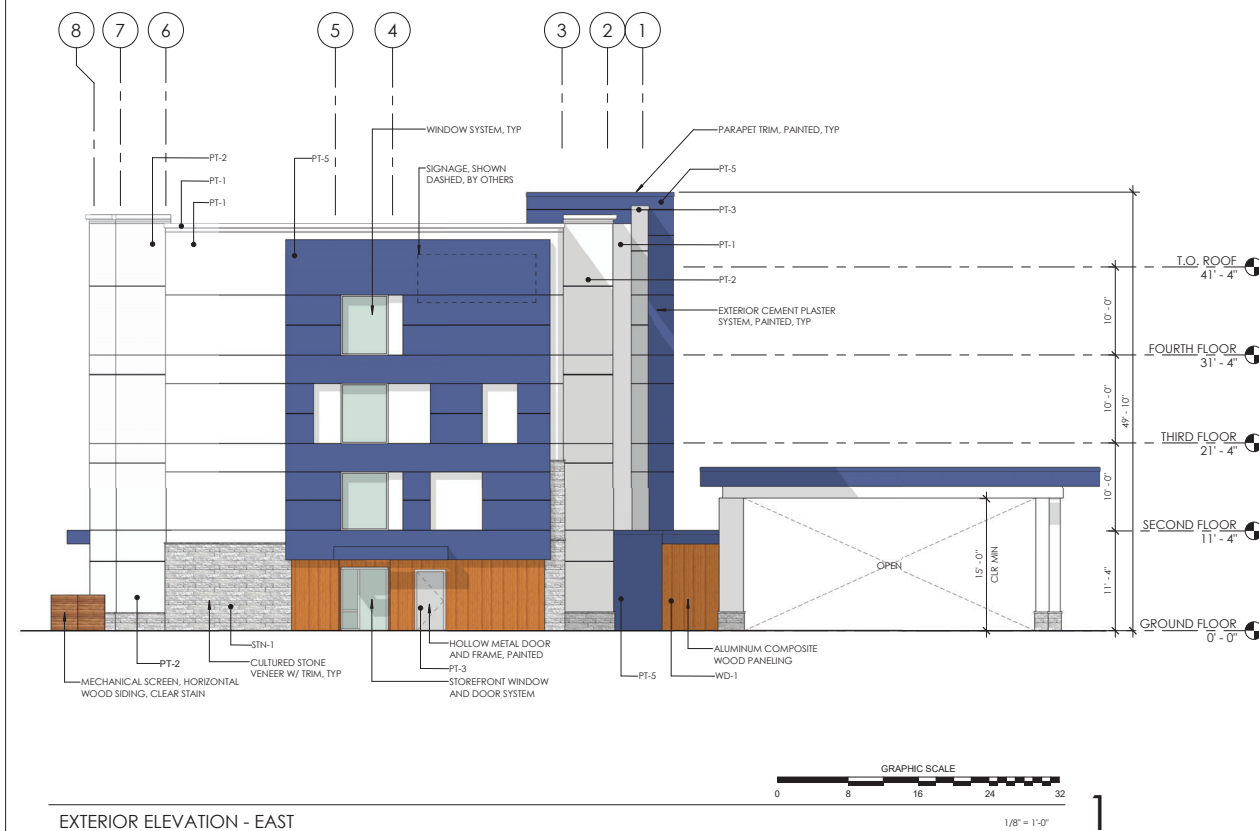
A5

OWNER _____
CONTRACTOR _____
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EXTERIOR ELEVATION - WEST

3



EXTERIOR ELEVATION - EAST

1



SITE SECTION - WEST

2

PLANNING DEPARTMENT SUBMITTAL

HAMPTON INN & SUITES - ROCKLIN

LOT W. OF 4280 SIERRA COLLEGE BLVD, ROCKLIN, CA 95677

NOT FOR CONSTRUCTION

12/23/19 - PLANNING DEPARTMENT SUBMITTAL

EXTERIOR ELEVATIONS - OVERALL

Project Number
18061
Drawn By
HG
Checked By
JJD

A6

OWNER

CONTRACTOR

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PLANNING DEPARTMENT SUBMITTAL

HAMPTON INN & SUITES - ROCKLIN

LOT W. OF 4280 SIERRA COLLEGE BLVD, ROCKLIN, CA 95677

NOT FOR CONSTRUCTION

12/23/19 PLANNING DEPARTMENT SUBMITTAL

**EXTERIOR ELEVATIONS -
SITE STRUCTURE**

Project Number

18061

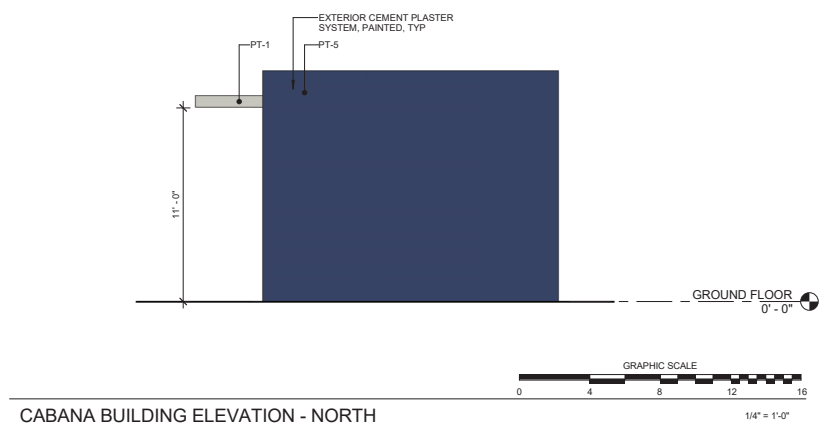
Drawn By

HG

Checked By

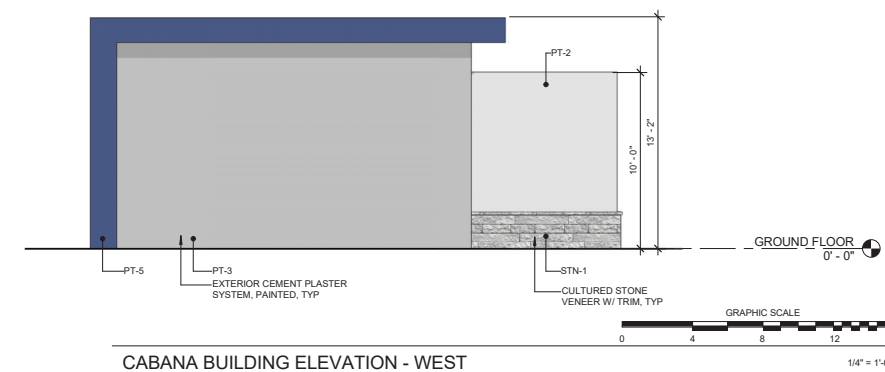
JJD

A7



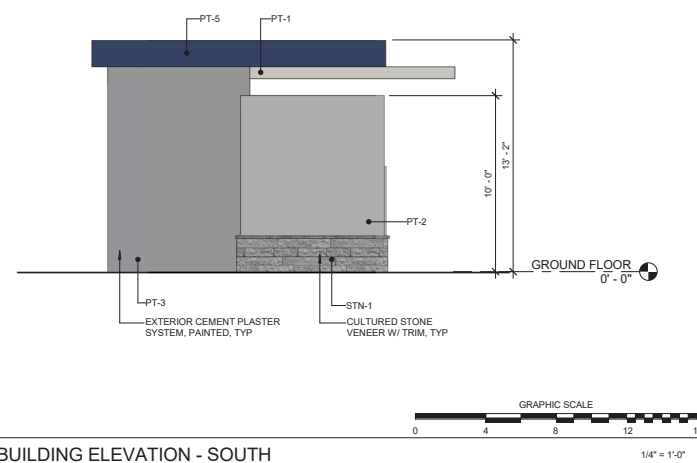
CABANA BUILDING ELEVATION - NORTH

4



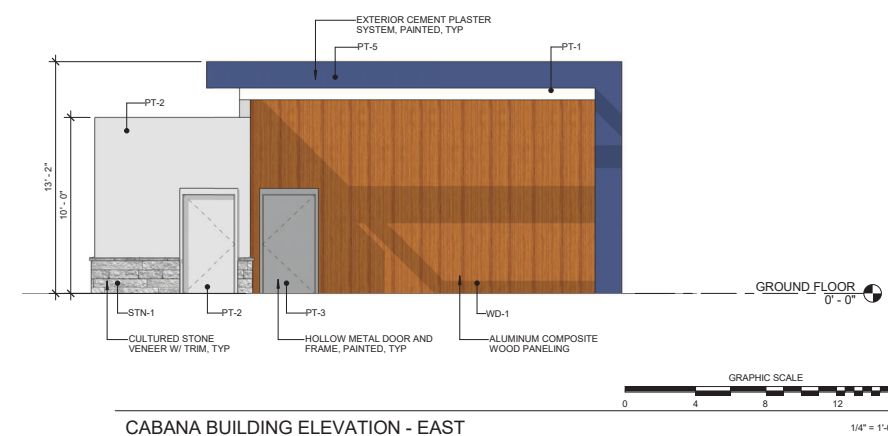
CABANA BUILDING ELEVATION - WEST

1



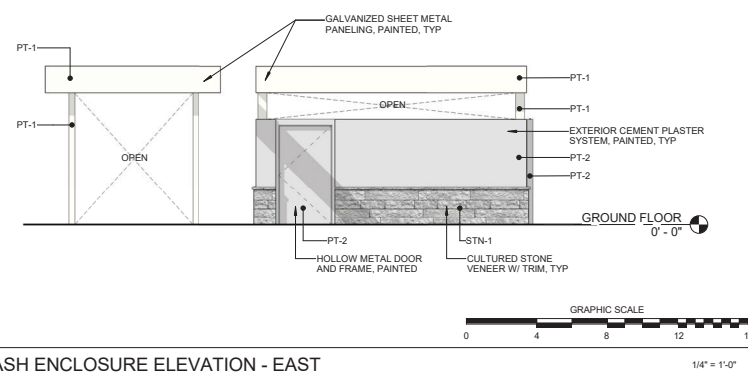
CABANA BUILDING ELEVATION - SOUTH

5



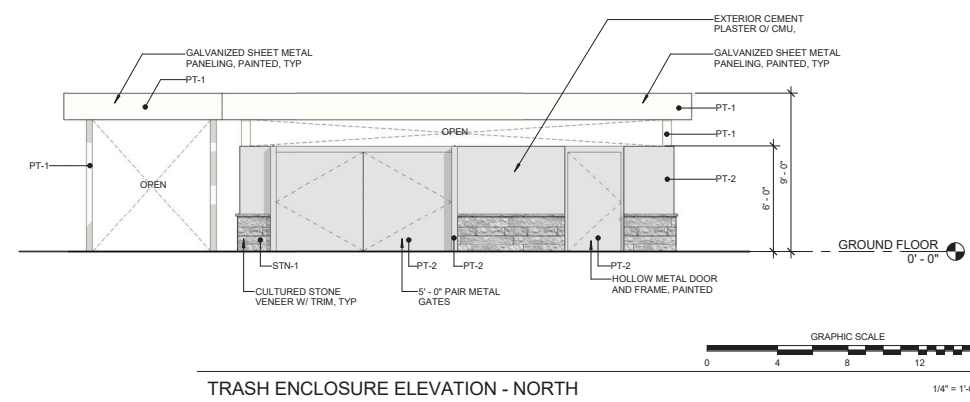
CABANA BUILDING ELEVATION - EAST

2



TRASH ENCLOSURE ELEVATION - EAST

6



TRASH ENCLOSURE ELEVATION - NORTH

3

OWNER _____

CONTRACTOR _____

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PLANNING DEPARTMENT SUBMITTAL

HAMPTON INN & SUITES - ROCKLIN

LOT W. OF 4280 SIERRA COLLEGE BLVD, ROCKLIN, CA 95677

NOT FOR CONSTRUCTION

12/23/19 PLANNING DEPARTMENT SUBMITTAL

BUILDING SECTION

Project Number

18061

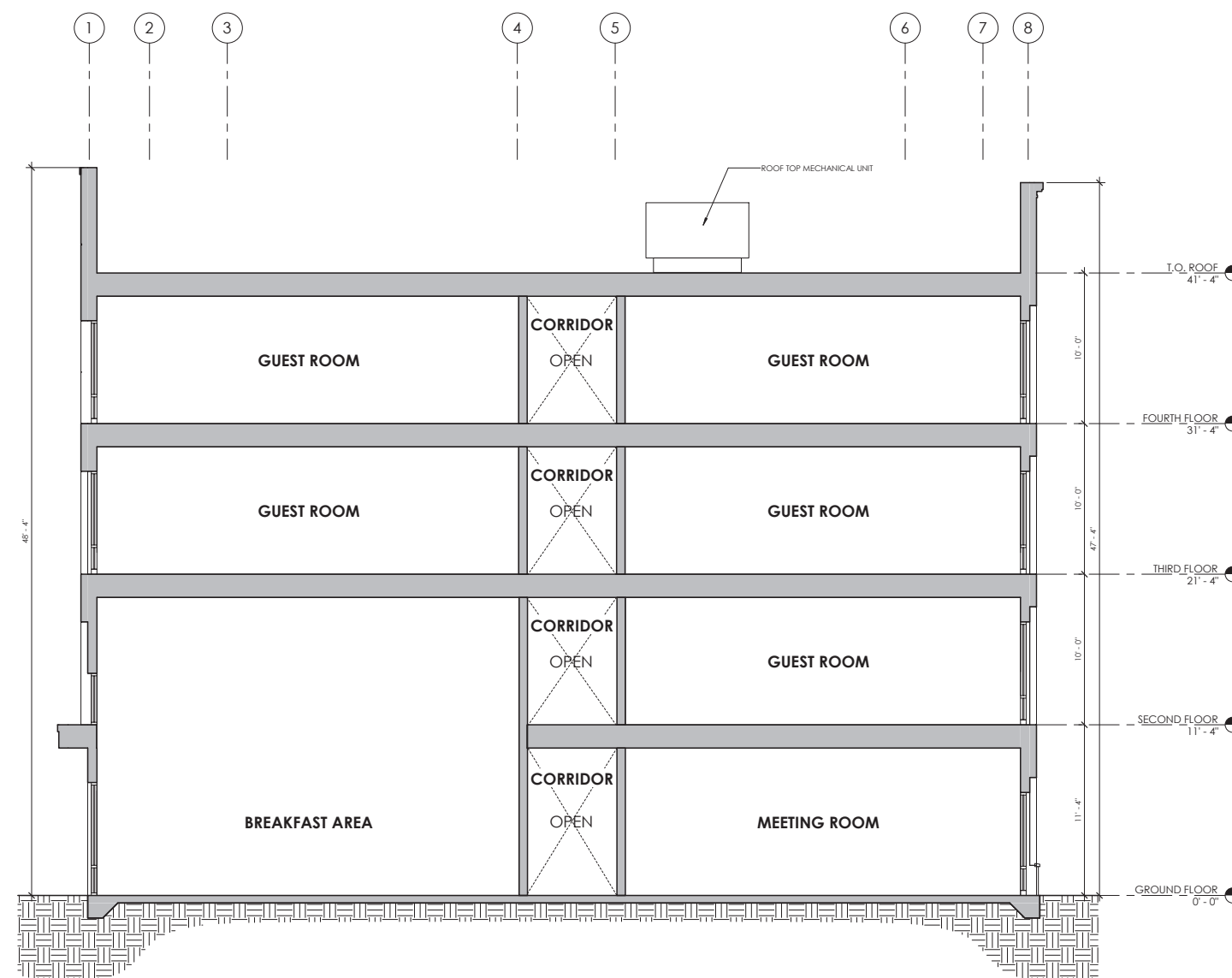
Drawn By

HG

Checked By

JJD

A8



BUILDING SECTION

OWNER _____
CONTRACTOR _____
This drawing is not final or to be used for construction until it is signed by the architect and the owner.

PLANNING DEPARTMENT SUBMITTAL
HAMPTON INN & SUITES - ROCKLIN
LOT W. OF 4280 SIERRA COLLEGE BLVD, ROCKLIN, CA 95677

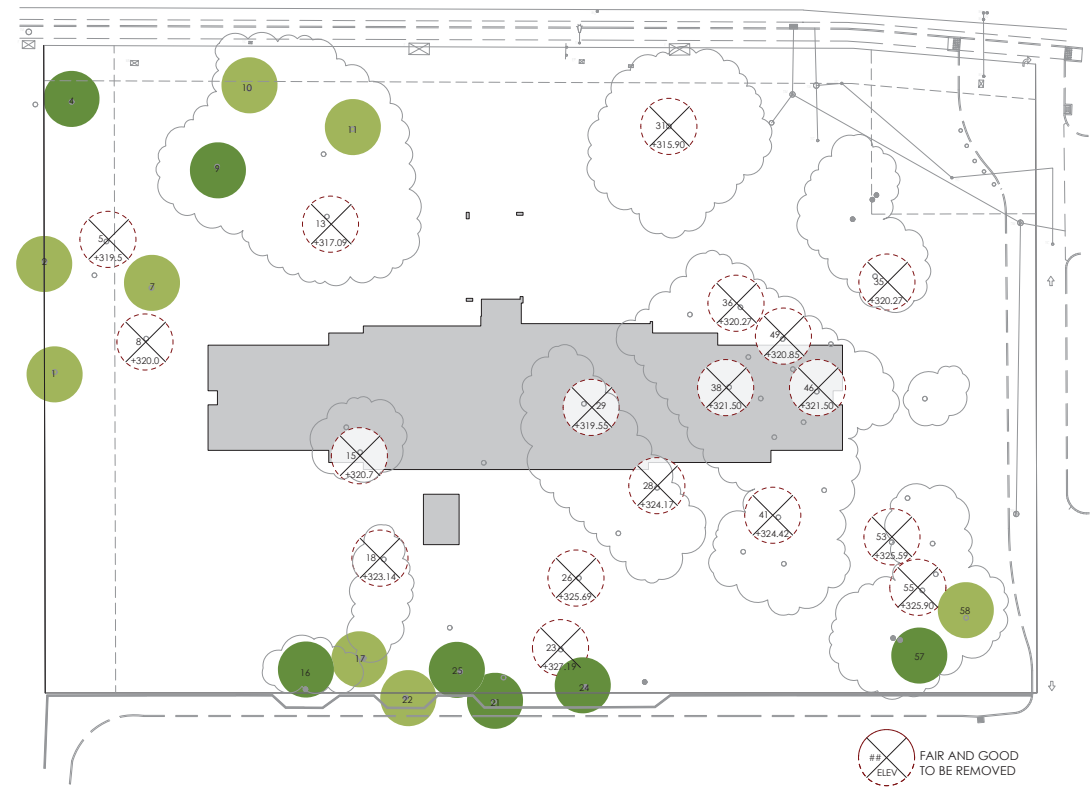
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12/23/19 - PLANNING DEPARTMENT SUBMITTAL

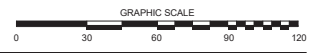
OAK TREE PRESERVATION PLAN

Project Number 18061
Drawn By HG
Checked By JJD

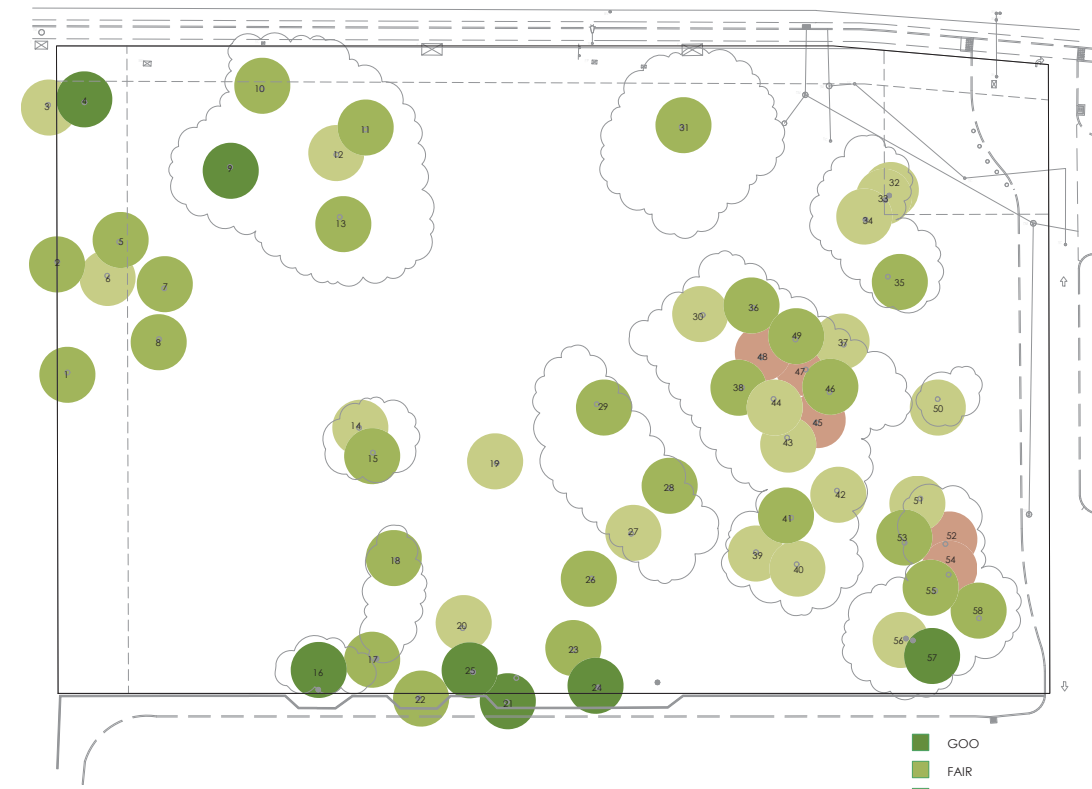
A9



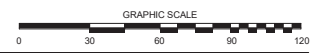
OAK TREE PRESERVATION DIAGRAM - TREES TO BE REMOVED



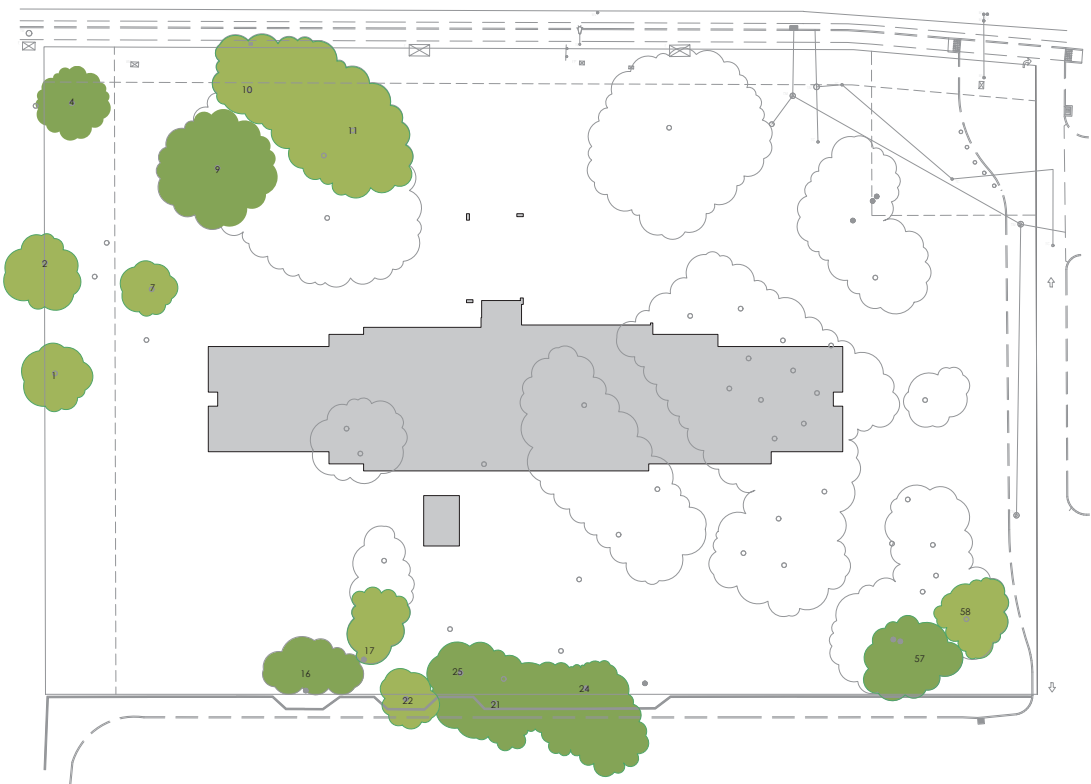
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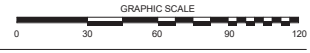
OAK TREE PRESERVATION DIAGRAM - EXISTING TREES



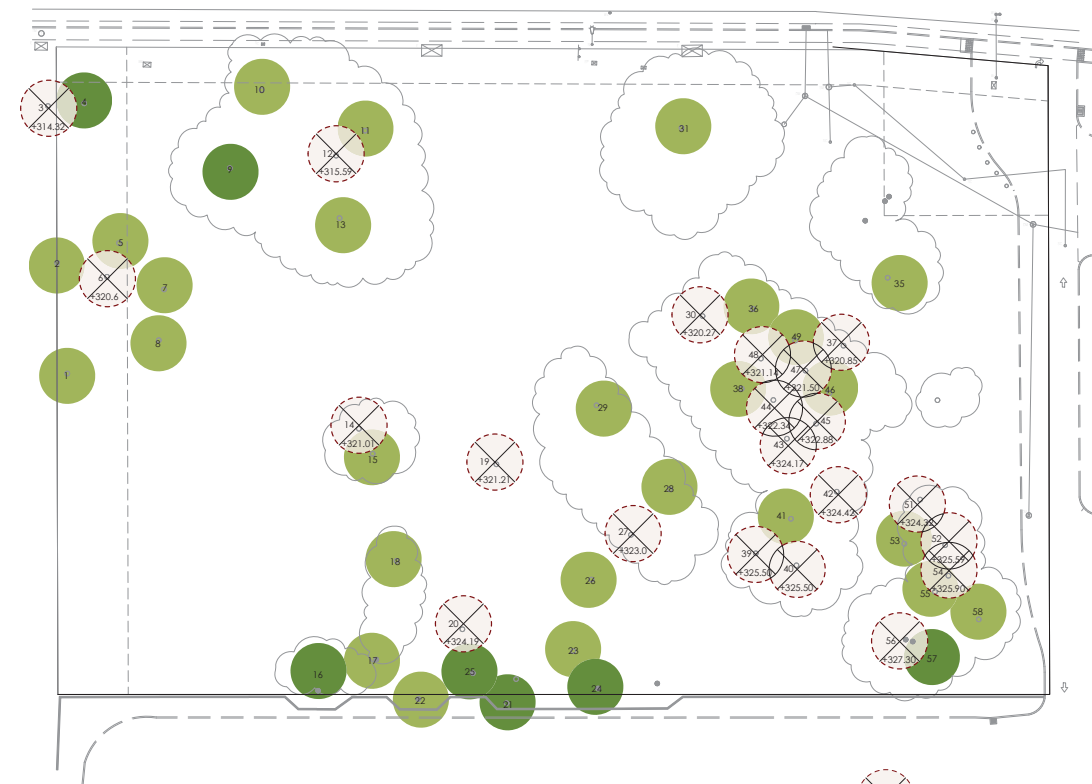
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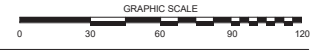
OAK TREE PRESERVATION DIAGRAM - EXISTING TREES TO REMAIN



4

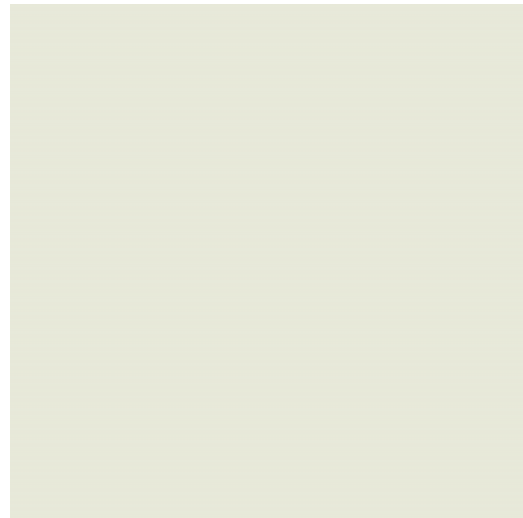


OAK TREE PRESERVATION DIAGRAM - POOR HEALTH TREES TO BE REMOVED

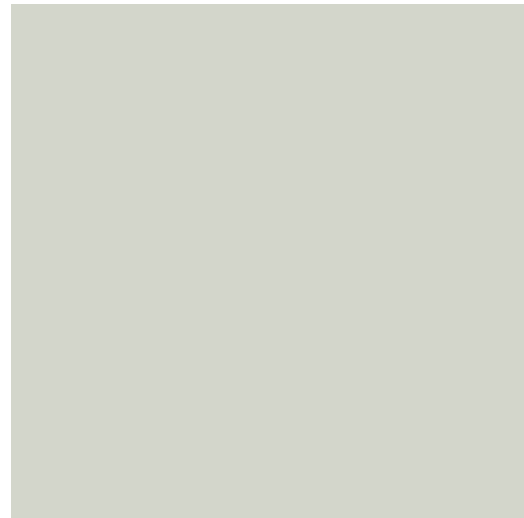


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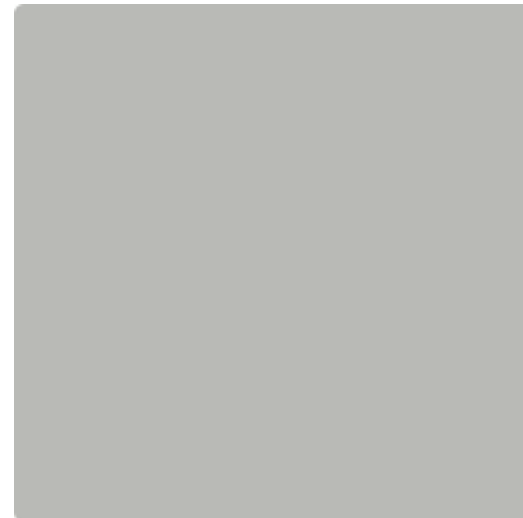
OWNER _____
CONTRACTOR _____
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PT-1 (PAINT-FIELD)
MANUFACTURER: BENJAMIN MOORE
MODEL: OC-141 - CHINA WHITE



PT-2 (PAINT-FIELD)
MANUFACTURER: BENJAMIN MOORE
MODEL: 2137-60 - GRAY OWL



PT-3 (PAINT-FIELD)
MANUFACTURER: BENJAMIN MOORE
MODEL: HC-169 - COVENTRY GRAY

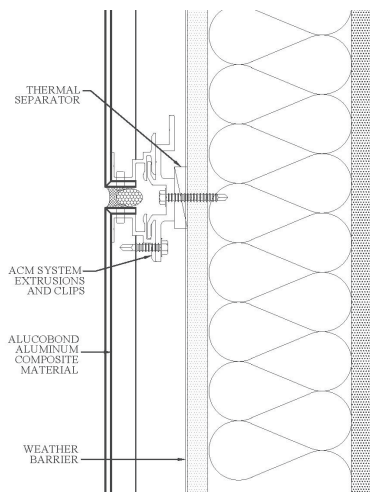


PT-4 (PAINT-ACCENT)
MANUFACTURER: BENJAMIN MOORE
MODEL: AC-27 - GALVESTON GRAY

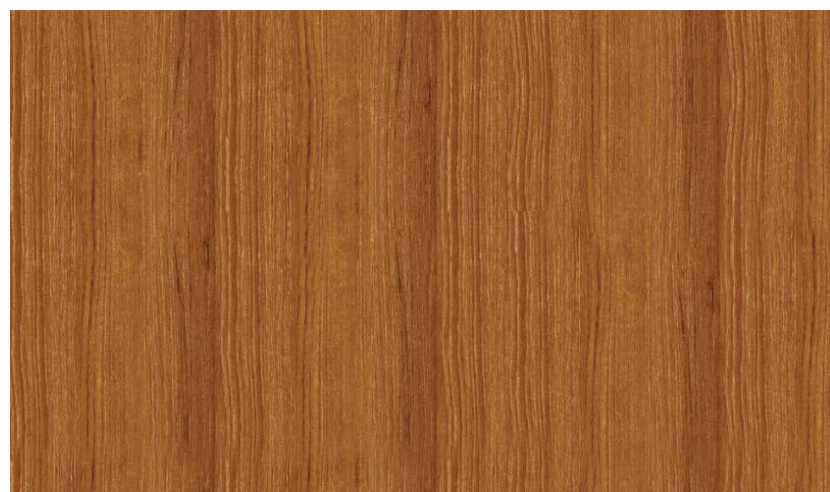


PT-5 (PAINT-ACCENT)
MANUFACTURER: BENJAMIN MOORE
MODEL: 2061-20 - CHAMPION COBALT

PLANNING DEPARTMENT SUBMITTAL
HAMPTON INN & SUITES - ROCKLIN
LOT W, OF 4280 SIERRA COLLEGE BLVD, ROCKLIN, CA 95677



WD-1 (ALUMINUM COMPOSITE WOOD GRAIN PANELING) DETAIL
MANUFACTURER: ALUCOBOND
MODEL: NATURAL - CHESTNUT PVDF - WOODGRAIN



WD-1 (ALUMINUM COMPOSITE WOOD GRAIN PANELING)
MANUFACTURER: ALUCOBOND
MODEL: NATURAL - CHESTNUT PVDF - WOODGRAIN



STN-1 (CULTURED STONE VENEER)
MANUFACTURER: ELDORADO STONE
MODEL: RIDGETOP 18 - GRANITE SPIRE

NOT FOR CONSTRUCTION

12/23/19 PLANNING DEPARTMENT SUBMITTAL

MATERIAL BOARD

Project Number
18061
Drawn By
JJJ
Checked By
JJJ

A10

BENCHMARK:

CITY OF ROCKLIN BENCHMARK # R1-8
2" DISK IN CONC MONOPOLY CT EAST OF DELMAR AVENUE
ELEV. = 311.70 NGVD29 DATUM

FLOOD ZONE NOTE

ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP FOR THE CITY OF ROCKLIN, PLACER COUNTY, CALIFORNIA, COMMUNITY PANEL NO. 060242 0962 H, MAP NUMBER 0602020204, DATED NOVEMBER 2, 2018, THIS PROPERTY LIES WITHIN THE LIMITS OF FLOOD ZONE X. AN AREA DETERMINED TO BE AN AREA OF 1% ANNUAL CHANCE FLOOD HAZARD.

LEGEND

- FIELD OBSERVATION POSITION AND ELEVATION
- EXISTING BOLLARD
- EXISTING DOUBLE POST SIGN
- EXISTING STREET LIGHT
- EXISTING ELECTRICAL PULL BOX
- EXISTING ELECTRICAL VAULT
- EXISTING TELEPHONE MANHOLE
- PROPOSED ACCESSIBLE PATH OF TRAVEL
- PROPOSED ACCESSIBLE PARKING SPACE
- PROPOSED SIGN
- PROPOSED WHEEL STOP
- PROPOSED PAVEMENT SECTION
- PROPOSED CONCRETE IMPROVEMENTS
- PROPOSED GRADE BREAK
- PROPOSED CAR OVERHANG
- EXISTING SANITARY SEWER LINE
- EXISTING STORM DRAIN LINE
- EXISTING WATER MAIN/LINE
- EXISTING CMU/BLOCK WALL
- SUBJECT SITE BOUNDARY
- EASEMENT
- PROPOSED CONCRETE IMPROVEMENTS
- PROPOSED GRADE BREAK
- PROPOSED CAR OVERHANG

ABBREVIATIONS

- BW BACK OF WALK ELEVATION POINT
- CMU CONCRETE MASONRY UNIT
- D FINISHED FLOOR
- FF FLOWLINE
- G GUTTER FLOWLINE ELEVATION POINT
- P PAVEMENT ELEVATION POINT
- SDI STORM DRAIN INLET
- TC TOP OF CURB ELEVATION POINT
- TW TOP OF WALL ELEVATION POINT
- VG VALLEY GUTTER

KEYNOTES:

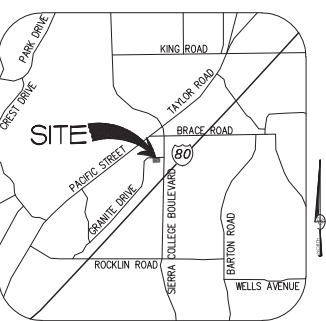
- 1. CONSTRUCT CONCRETE CURB PER DETAIL ON SHEET 2
- 2. CONSTRUCT CONCRETE CURB & GUTTER PER DETAIL ON SHEET 2
- 3. CONSTRUCT CURB TAPER PER DETAIL ON SHEET 2 WITH RIP RAP
- 4. CONSTRUCT 3" VALLEY GUTTER PER DETAIL ON SHEET 2
- 5. CONSTRUCT 4" VALLEY GUTTER PER DETAIL ON SHEET 2
- 6. CONSTRUCT CURB CUT OUT PER DETAIL ON SHEET 2
- 7. 3" DIAMETER PVC PIPE THROUGH CURB, SET @ 0.04 ABOVE F.G. P.M.T
- 8. SAW CUT LINE, MATCH EXISTING CONCRETE OR PAVEMENT GRADE
- 9. CONSTRUCT CHANNEL THROUGH WALK PER DETAIL ON SHEET 2
- 10. CONSTRUCT 3' HIGH RETAINING BLOCK WALL
- 11. CONSTRUCT 6' HIGH RETAINING BLOCK WALL

SPECIAL NOTES:

ANY REVISIONS OR CONFLICTS TO THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO DOING ANY WORK.
CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

DISABLED ACCESS NOTES:

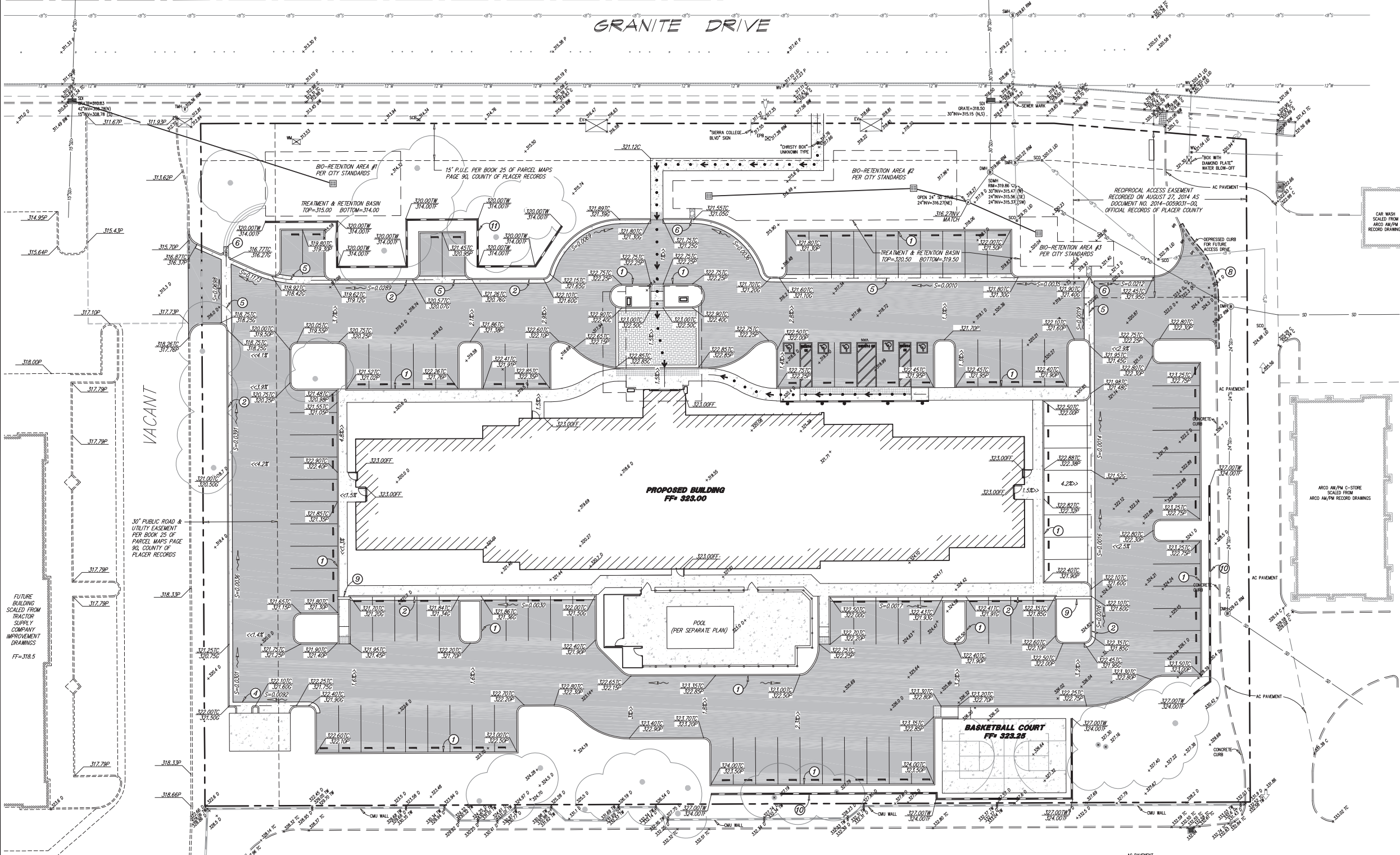
- 1. ALL SLOPES SHOWN ON THIS PLAN WERE DESIGNED AT OR BELOW MAXIMUMS ALLOWED BY THE CALIFORNIA BUILDING CODE (C.B.C.) / AMERICANS WITH DISABILITY ACT ACCESS GUIDE (A.D.A.A.G.) IN ORDER TO ALLOW FOR CONSTRUCTION TOLERANCES. IT IS CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH C.B.C./A.D.A.A.G. AND IN THE EVENT THAT A DESIGN QUESTION SHOULD ARISE OR A FIELD CONDITION PRESENT ITSELF THAT IS DIFFERENT THAN SHOWN ON THESE PLANS, WORK SHOULD CEASE AND THE ENGINEER NOTIFIED SO THAT AN ACCEPTABLE SOLUTION CAN BE DETERMINED.
- 2. THE CONTRACTOR IS ADVISED TO CAREFULLY CHECK ALL PHASES OF WORK RELATING TO A.D.A.A.G. ACCESS FOR THIS PROJECT. SINCE THE CODE DOES NOT ALLOW FOR CONSTRUCTION TOLERANCE, ANY CONSTRUCTION THAT EXCEEDS MAXIMUM OR MINIMUM DIMENSIONS AND SLOPES AS CALLED OUT BY C.B.C./A.D.A.A.G. ARE SUBJECT TO REJECTION BY THE CITY AND MAY BE REQUIRED TO BE REMOVED AND REPLACED.
- 3. SINCE THE CIVIL ENGINEER OR SURVEYOR CAN NOT CONTROL THE EXACT METHODS OR MEANS USED BY THE GENERAL CONTRACTOR OR THEIR SUB-CONTRACTORS DURING GRADING AND CONSTRUCTION OF THE PROJECT, THE CIVIL ENGINEER OR SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE FINAL ACCEPTANCE OF C.B.C./A.D.A.A.G. RELATED ITEMS BY THE CITY, ANY OTHER AUTHORITY, OR OTHER AFFECTED PARTIES.



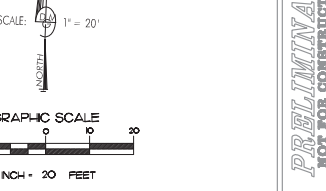
VICINITY MAP
NOT TO SCALE

GRADING NOTES:

- 1. SITE ADDRESS: NONE
- 2. ASSESSOR'S PARCEL NO.: 045-041-018 & 045-041-019
- 3. SITE AREA: 2.66 AC
- 4. A GRADING PERMIT SHALL BE OBTAINED FROM THE BUILDING DIVISION PRIOR TO ANY GRADING.
- 5. UNPAVED GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHOULD BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10' AS MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE FROM THE FOUNDATION, THEN A SIMILE THAT RUNS PARALLEL TO THE FOUNDATION MAY BE USED AND WILL BE REQUIRED TO BE A MINIMUM OF 2% WITHIN THE 10 FOOT PERIMETER LINE. MEASUREMENTS SHOULD BE TAKEN FROM THE FOUNDATION OR AS APPROVED BY THE BUILDING OFFICIAL.
- 6. AFTER GRADING AND PRIOR TO BUILDING FINAL, A LETTER FROM THE CIVIL ENGINEER SHALL BE SUBMITTED CERTIFYING THE SITE IS GRADED IN ACCORDANCE WITH THE APPROVED GRADING PLAN.
- 7. NO DRAINAGE SHALL BE PERMITTED ONTO ADJACENT PROPERTIES.
- 8. ESTIMATED EARTHWORK QUANTITIES FOR PERMIT PURPOSES ONLY:
CUT X C.Y.
FILL X C.Y.
*NOTE: ** ESTIMATED GRADING QUANTITIES ARE SHOWN FOR PERMIT PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE FINAL BIO QUANTITIES. NO EXTRA COSTS WILL BE PAID TO THE CONTRACTOR FOR DISCREPANCIES IN THESE QUANTITIES.
- 9. ANY WELLS TO BE ABANDONED PER STATE STANDARDS.
- 10. ANY SEPTIC TANKS TO BE ABANDONED PER STATE STANDARDS.
- 11. DUST CONTROL STANDARDS TO BE MAINTAINED AT ALL TIMES.
- 12. GRADING OPERATIONS SHALL CEASE DURING PERIODS OF HIGH WINDS GREATER THAN 20 MPH AVERAGE OVER ONE HOUR.
- 13. ADJACENT STREETS AFFECTED BY GRADING OPERATIONS SHALL BE SWEEPED AT LEAST ONCE A DAY OR AS REQUIRED BY THE BUILDING INSPECTOR TO REMOVE DIRT OR SILT.
- 14. GRADING OPERATIONS SHALL CEASE IN THE EVENT ARCHEOLOGICAL RESOURCES ARE UNEXPECTED AND THE COMMUNITY DEVELOPMENT DEPARTMENT IS NOTIFIED SO THAT PROCEDURES REQUIRED BY STATE LAW CAN BE IMPLEMENTED.
- 15. ALL GRADING SHALL COMPLY WITH APPENDIX J OF THE 2016 C.B.C. CALIFORNIA BUILDING CODE.
- 16. A HOLD ON OCCUPANCY WILL BE IN EFFECT UNTIL SUCH TIME AS THIS DEVELOPMENT IS CERTIFIED "AS-GRADED" BY THE ENGINEER OF RECORD.
- 17. BUILDINGS SHALL HAVE THE FOUNDATION WALL OR CONCRETE FLOOR SLAB CONSTRUCTED AT LEAST A MINIMUM OF SIX (6) INCHES ABOVE THE CROWN OF THE ADJOINING STREET.
- 18. THE OVERALL BUILDING SITE SHALL HAVE A MINIMUM SLOPE OF 0.5% IN ALL AREAS, TO AN APPROVED DRAINAGE FACILITY OR A PUBLIC STREET.
- 19. ANY VERTICAL CUT OR FILL DIFFERENTIAL EQUAL TO OR GREATER THAN TWELVE (12) INCHES BETWEEN ADJACENT PROPERTIES SHALL BE SUPPORTED BY AN APPROVED RETAINING WALL GRADING PLAN CHECK FEE TO BE PAID PRIOR TO PLAN APPROVAL.
- 20. ALL REQUIRED WALLS AND RETAINING WALLS REQUIRE SEPARATE BUILDING PERMITS & STRUCTURAL CALCULATIONS IN ADDITION TO THE GRADING PERMIT.
- 21. PERMITS FOR ALL REQUIRED WALLS SHALL BE OBTAINED PRIOR TO APPROVAL OF THE AS-GRADED PLANS. PERMITS FOR RETAINING WALLS SHALL BE OBTAINED WITHIN 30 DAYS OF GRADING PERMIT ISSUANCE.
- 22. OBTAIN ENCROACHMENT PERMITS FROM CALIFORNIA DEPARTMENT OF TRANSPORTATION PRIOR TO WORK WITHIN STATE RIGHT-OF-WAY. CONTACT MR. KIRK ANDERSON IN PERMITS DEPARTMENT @ 445-6483.
- 23. THIS GRADING PLAN IS FOR APPROVAL OF ON-SITE ELEVATIONS ONLY. THE ELEVATIONS SHOWN WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRE SEPARATE PUBLIC WORKS DEPARTMENT APPROVAL AND PERMIT. ANY NOTES THAT APPLY TO THE PUBLIC RIGHT-OF-WAY ARE FOR REFERENCE ONLY. IF ON-SITE ELEVATIONS SHOWN DO NOT CONCLUDE WITH APPROVED STREET PLANS, AN APPROVED AMENDMENT IS REQUIRED.



PLOTTED BY: JASON R. LOR - 11/16/2019 10:26:00 AM C:\MY DOCUMENTS\19-045GP.DWG



CALL 916-111-OR 1-800-227-2900
2 WORKING DAYS TO 14 CALENDAR DAYS BEFORE YOU DIG
UNDERGROUND SERVICE ALERT



PREPARED FOR:
DVB ARCHITECTURE
2511 KNOLLWOOD DRIVE
CAMERON PARK, CA 95662

PREPARED BY:
DALE G. MEHL
& ASSOCIATES
ENGINEERING & SURVEYING SERVICES
2090 NORTH WINERY AVENUE, FRESNO, CALIFORNIA 93703
(559) 292-0446 • FAX 281-9220 • EMAIL: STAFF@DGMELL.COM

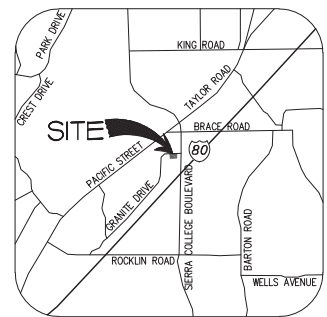
GRADING & DRAINAGE PLAN
C.U.P. NO. XXXX
HAMPTON INN & SUITES
GRANITE DRIVE, ROCKLIN, CA

PRELIMINARY
NOT FOR CONSTRUCTION

JOB # 19-045
DRAWN BY: J. LOR
CHECKED BY: DGM
SCALE: 1" = 20'
DATE: 06/14/19
DWG # 19-045GP
FIELD BOOK: 427
DATE OF SURVEY: 04/17/19
LAST REVISION: 11/16/19 # 2
SHEET 1 OF 3

LEGEND

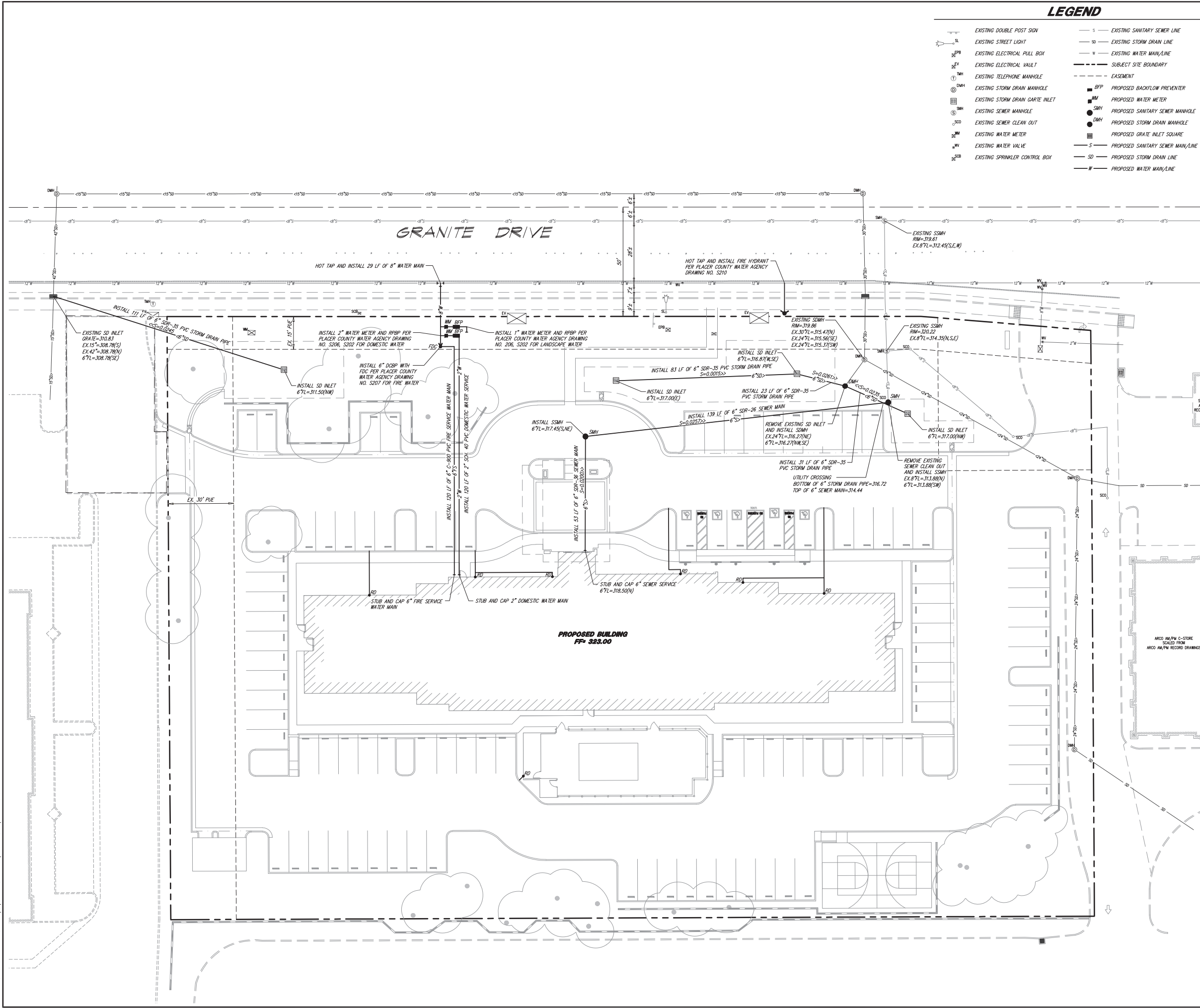
—●—	EXISTING DOUBLE POST SIGN	—S—	EXISTING SANITARY SEWER LINE
—●—	EXISTING STREET LIGHT	—SD—	EXISTING STORM DRAIN LINE
—●—	EXISTING ELECTRICAL PULL BOX	—W—	EXISTING WATER MAIN/LINE
—●—	EXISTING ELECTRICAL VAULT	---	SUBJECT SITE BOUNDARY
—●—	EXISTING TELEPHONE MANHOLE	---	EASEMENT
—●—	EXISTING STORM DRAIN MANHOLE	—BFP—	PROPOSED BACKFLOW PREVENTER
—●—	EXISTING STORM DRAIN GATE INLET	—WM—	PROPOSED WATER METER
—●—	EXISTING SEWER MANHOLE	—SMH—	PROPOSED SANITARY SEWER MANHOLE
—●—	EXISTING SEWER CLEAN OUT	—DMH—	PROPOSED STORM DRAIN MANHOLE
—●—	EXISTING WATER METER	—GSI—	PROPOSED GRATE INLET SQUARE
—●—	EXISTING WATER VALVE	—S—	PROPOSED SANITARY SEWER MAIN/LINE
—●—	EXISTING SPRINKLER CONTROL BOX	—SD—	PROPOSED STORM DRAIN LINE
		—W—	PROPOSED WATER MAIN/LINE



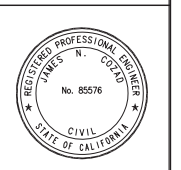
VICINITY MAP
NOT TO SCALE

UTILITY PLAN NOTES:

- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED PLUMBING CODE AND CITY OF ROCKLIN STANDARD PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL BE SPECIFICALLY RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES THAT MIGHT HAVE EXISTING UTILITIES ON SITE TO DETERMINE IF ANY EXIST AND HOW TO HANDLE. ENGINEER CANNOT BE RESPONSIBLE FOR EXISTENCE OR LOCATION OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION, AND SHALL BE RESPONSIBLE FOR COORDINATING WITH THEM REGARDING UTILITY LOCATIONS, AND CONSTRUCTION SCHEDULES.
- ALL CONNECTIONS TO EXISTING UTILITIES AND ALL UTILITY INSTALLATIONS SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE APPROPRIATE JURISDICTIONAL AGENCIES.
- SEE ARCHITECT'S SITE PLAN FOR LAYOUT DIMENSIONS.
- FOR GRADING AND DRAINAGE INFORMATION, SEE GRADING & DRAINAGE PLAN.
- EXISTING UTILITIES SHOWN LOCATED BY SURFACE EVIDENCE OR BY INFORMATION FROM UTILITY COMPANY OR GOVERNING AGENCY AND/OR ORIGINAL SITE DEVELOPMENT PLANS.
- PLUMBING PERMITS AND INSPECTIONS ARE REQUIRED ON ALL PROPOSED ON-SITE UTILITY WORK.
- AT COMPLETION OF SEWER AND WATER CONSTRUCTION, ALL MANHOLES, VALVE BOXES, METERS AND APPURTENANCES SHALL BE SET FOR PROPER FINISH GRADE AND SHALL BE NOTICEABLY STAKED AND FLAGGED. SITE UTILITY SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE ABOVE ITEMS UNTIL SYSTEM IS ACCEPTED BY OWNER.
- ALL GAS METERS AND ELECTRICAL TRANSFORMERS SUSCEPTIBLE TO DAMAGE, SHALL HAVE BOLLARDS FOR PROTECTION FOR LOCAL REQUIREMENTS. ALL BOLLARDS TO BE PROVIDED BY CONTRACTOR.
- CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY FOR SERVICE ROUTE AND SHALL PROVIDE AN OPEN TRENCH, BACKFILL, AND CONDUIT WITH PULL CORDS FOR THE SERVICE LINE AT THE DIRECTION OF THE TELEPHONE COMPANY.
- CONTRACTOR SHALL COORDINATE WITH POWER COMPANY FOR PRIMARY & SECONDARY SERVICE ROUTE, TRANSFORMER PAD LOCATION AND SHALL PROVIDE AN OPEN TRENCH, BACKFILL, AND CONDUITS FOR THE SERVICE LINE AT THE DIRECTION OF THE POWER COMPANY.
- UTILITY CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAPS, TIE, AND FEES REQUIRED FOR SERVICE, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
- CONTRACTOR TO THE EXISTING UTILITIES INTO PROPOSED STRUCTURE INTERNALLY. COORDINATE WITH EACH UTILITY COMPANY PRIOR TO DEMOLITION OR INSTALLATION.
- MINIMUM SLOPE FOR SANITARY SEWER INSTALLATION SHALL BE PER CITY OF ROCKLIN AND THE UNIFORM PLUMBING CODE.
- ONCE ALL SANITARY PIPE IS INSTALLED, IT SHALL BE BACKFILLED WITH SELECT MATERIAL AND HAND TAMPED IN 6" LIFTS UNTIL 12" OF COVER IS ACHIEVED. FINAL BACKFILL SHALL BE COMPACTED IN 8" LOOSE LIFTS TO A RELATIVE DENSITY OF 95% OR GREATER.
- ALL SERVICE MATERIALS TO BE INSTALLED TO WITHIN 5' OF PROPOSED BUILDING AND CAPPED BY SITE CONTRACTOR.
- ALL WATERLINES ARE TO BE INSTALLED WITH A MINIMUM OF 3.5' OF COVER.
- ALL WATERLINES SMALLER THAN 4" SHALL BE SCHEDULE 40 PVC. WATERLINES 4" AND GREATER SHALL BE CLASS 150 PVC (ANMA C-300).
- ON-SITE SEWER PIPE SHALL BE SDR-35 PVC.
- ALL ON-SITE SEWER MAINS WITH CLEANOUTS SHALL HAVE A MINIMUM SLOPE OF 1/8" PER FOOT.
- ALL CLEANOUTS LOCATED IN PAVED AREAS SHALL BE INSTALLED IN CITY APPROVED CHRISTY BOXES.
- A MANHOLE IS REQUIRED ON A SEWER MAIN 18" AND LARGER, WHEN A HOUSE BRANCH 8" OR LARGER IS INSTALLED.
- SEWERS WITH SLOPES OF LESS THAN 1/8" PER FOOT SHALL REQUIRE MANHOLES RATHER THAN CLEANOUTS. MANHOLES ARE REQUIRED WHEN THERE IS A CHANGE IN DIRECTION EITHER VERTICAL OR HORIZONTAL.
- CLEANOUTS SHALL NOT BE LOCATED FURTHER THAN 100 FEET APART.
- CONTRACTOR SHALL PROVIDE A SHUT-OFF VALVE FOR EACH WATER SERVICE 18" BEHIND THE BACK OF CURB.
- CONTRACTOR SHALL PERMANENTLY MARK THE SEWER AND WATER SERVICE LOCATIONS ON THE CURB.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OR A LICENSED LAND SURVEYOR.
- REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER TO OCCUPANCY.
- PROVIDE THRUST BLOCKS OR APPROVED JOINT RESTRAINTS.
- CONTRACTOR TO VERIFY ALL LOCATIONS AND SIZES OF UTILITY SERVICES TO BUILDING WITH ARCHITECTURAL PLANS.



CALL 916-227-2600
1-800-227-2600
2 WORKING DAYS TO
14 CALENDAR DAYS
BEFORE YOU DIG

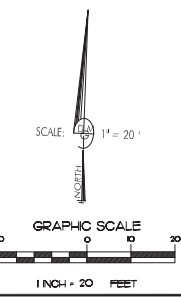


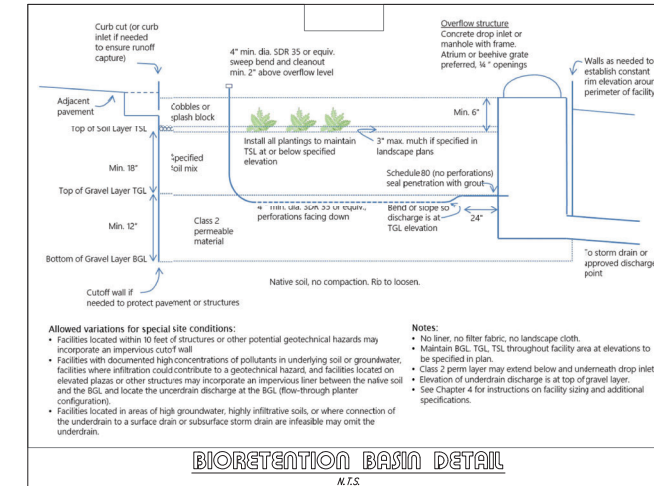
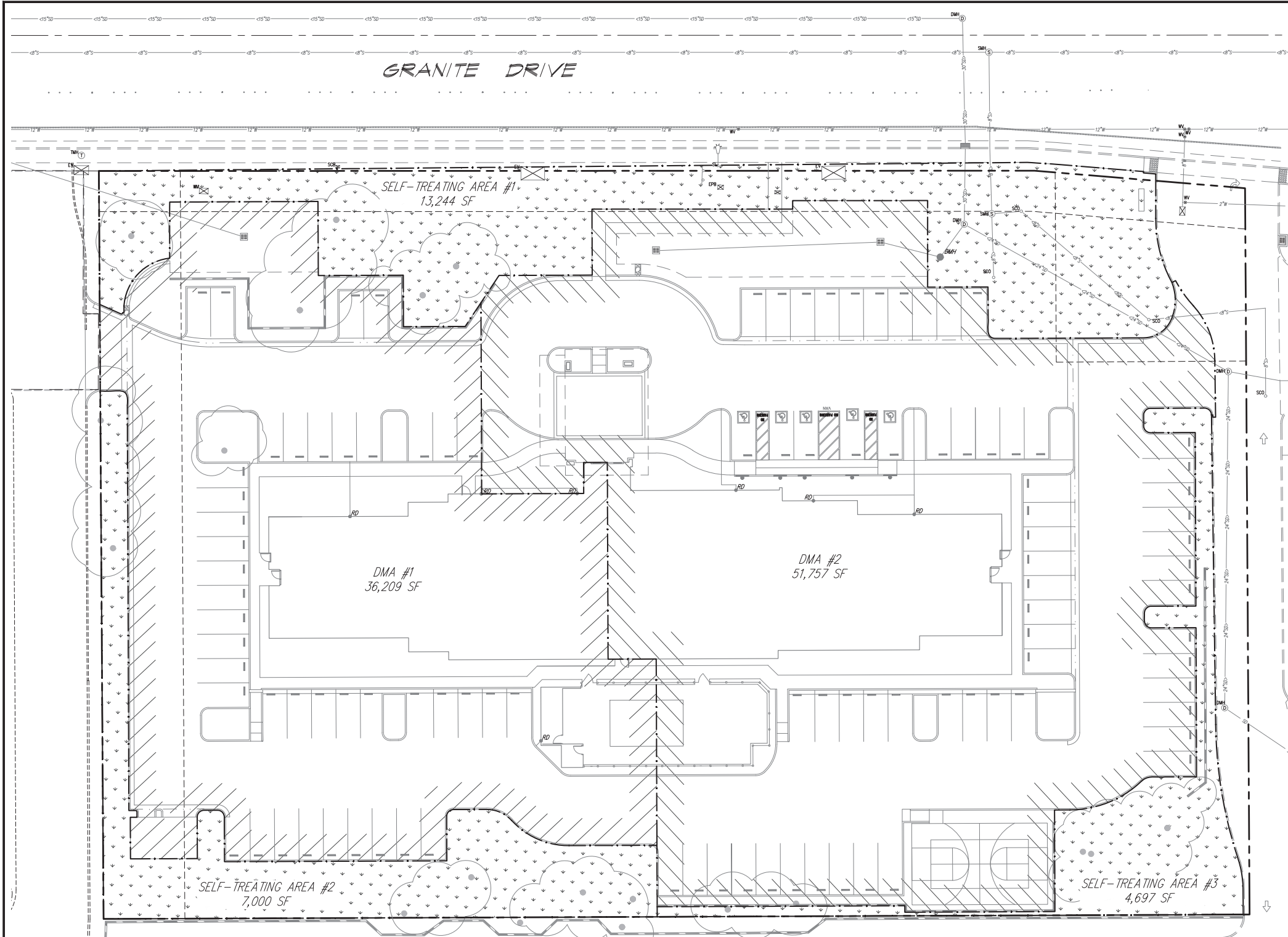
PREPARED FOR:
DVB ARCHITECTURE
2511 KNOLLWOOD DRIVE
CAMERON PARK, CA 95662

PREPARED BY:
DALE G. MEHL
& ASSOCIATES
ENGINEERING & SURVEYING SERVICES
2090 NORTH WINERY AVENUE, FRESNO, CALIFORNIA 93703
(559) 292-4646 • FAX 281-9220 • EMAIL: STAFF@DMEHL.COM

UTILITY COMPOSITE PLAN
C.U.P. NO. XXXX
HAMPTON MW & SITES
GRANITE DRIVE, ROCKLIN, CA

JOB # 19-045
DRAWN BY: J. LOR
CHECKED BY: DGM
SCALE: 1" = 20'
DATE: 11/25/19
DWG # 19-045UP
FIELD BOOK: 427
DATE OF SURVEY: 04/17/19
LAST REVISION:
SHEET 3 OF 3





SUMMARY OF MAINTENANCE REQUIREMENTS FOR STORMWATER TREATMENT CONTROLS:

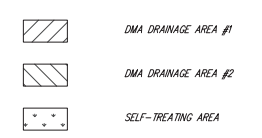
- BIORETENTION AREAS AND FLOW-THRU PLANTERS OR "RAIN GARDENS", FUNCTION AS SOIL AND PLANT-BASED FILTRATION DEVICES THAT REMOVE POLLUTANTS THROUGH A VARIETY OF PHYSICAL, BIOLOGICAL, AND CHEMICAL TREATMENT PROCESSES. PERCOLATION OF STORED WATER IN THE BIO-RETENTION AREAS PLANTING SOIL WILL ENTER THE UNDERDRAIN, SO THAT THE BIO-RETENTION AREA EMPTIES OVER TWO DAYS.
- TYPICAL ROUTINE MAINTENANCE CONSISTS OF THE FOLLOWING:
1. REMOVE OBSTRUCTIONS, DEBRIS, AND TRASH FROM BIO-RETENTION AREA AND DISPOSE OF PROPERLY. INSPECT BIO-RETENTION AND FLOW-THRU PLANTER AREAS TO ENSURE THAT IT DRAINS BETWEEN.
 2. STORMS AND WITHIN FIVE DAYS AFTER RAINFALL.
 3. INSPECT INLETS FOR CHANNELS, SOIL EXPOSURE, OR OTHER EVIDENCE OF EROSION. CLEAR ANY OBSTRUCTIONS AND REMOVE SEDIMENT.
 4. REMOVE AND REPLACE ALL DEAD AND DISEASED VEGETATION.
 5. MAINTAIN VEGETATION AND THE IRRIGATION SYSTEM, PRUNE AND WEED TO KEEP BIO-RETENTION AREA NEAT AND ORDERLY IN APPEARANCE.

DRAINAGE AREA DELINEATION

DMA NAME	TYPE	DRAINAGE AREA (SF)	TREATMENT AREA DIMENSION (LxWxD)	TREATMENT AREA TYPE	TREATMENT AREA REQUIREMENT (SF)	ACTUAL TREATMENT AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)
DMA #1	ASPHALT PARKING AREA & ROOF AREA	36,209	55'x26'x1'	BIO-RETENTION	1,215	1,422	29,713	6,496
DMA #2	ASPHALT PARKING AREA & ROOF AREA	51,757	VARIABLES	BIO-RETENTION	1,786	2,345	43,855	7,902

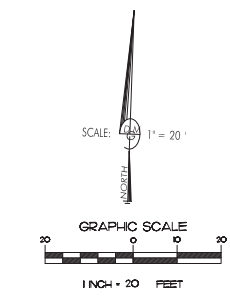
* TREATMENT AREA REQUIREMENT = [(IMPERVIOUS AREA) + (PERVIOUS)(0.1)] * 0.04
 ** PER CHAPTER 2 OF THE C3 STORM WATER HANDBOOK, NEW SIDEWALK CONSTRUCTED ALONG AN EXISTING ROADWAY IS EXEMPT FROM PROVISION C.3.c OF THE MUNICIPAL STORMWATER PERMIT

LEGEND



BIO-TREATMENT & FLOW-THRU PLANTER MAINTENANCE SCHEDULE

ACTIVITY	SCHEDULE
RE-MULCH VOIDED AREAS	PERFORM AS NEEDED
TREAT DISEASED TREES AND SHRUBS	PERFORM AS NEEDED
WATER PLANTS DAILY FOR TWO WEEKS	PERFORM AT PROJECT COMPLETION
INSPECT SOIL AND REPAIR ANY AREAS SHOWING EVIDENCE OF EROSION	PERFORM INSPECTION MONTHLY
REMOVE LITTER AND DEBRIS	PERFORM INSPECTION MONTHLY
REMOVE AND REPLACE DEAD AND DISEASED VEGETATION	PERFORM INSPECTION TWICE PER YEAR
ADD ADDITIONAL MULCH	PERFORM ONCE PER YEAR
REPLACE TREE STAKES AND WIRE	PERFORM ONCE PER YEAR



CALL 8-1-1 OR 1-800-227-2600
 2 WORKING DAYS TO 14 CALENDAR DAYS BEFORE YOU DIG
 UNDERGROUND SERVICE ALERT



DVB ARCHITECTURE
 2511 KNOLLWOOD DRIVE
 CAMERON PARK, CA 95682

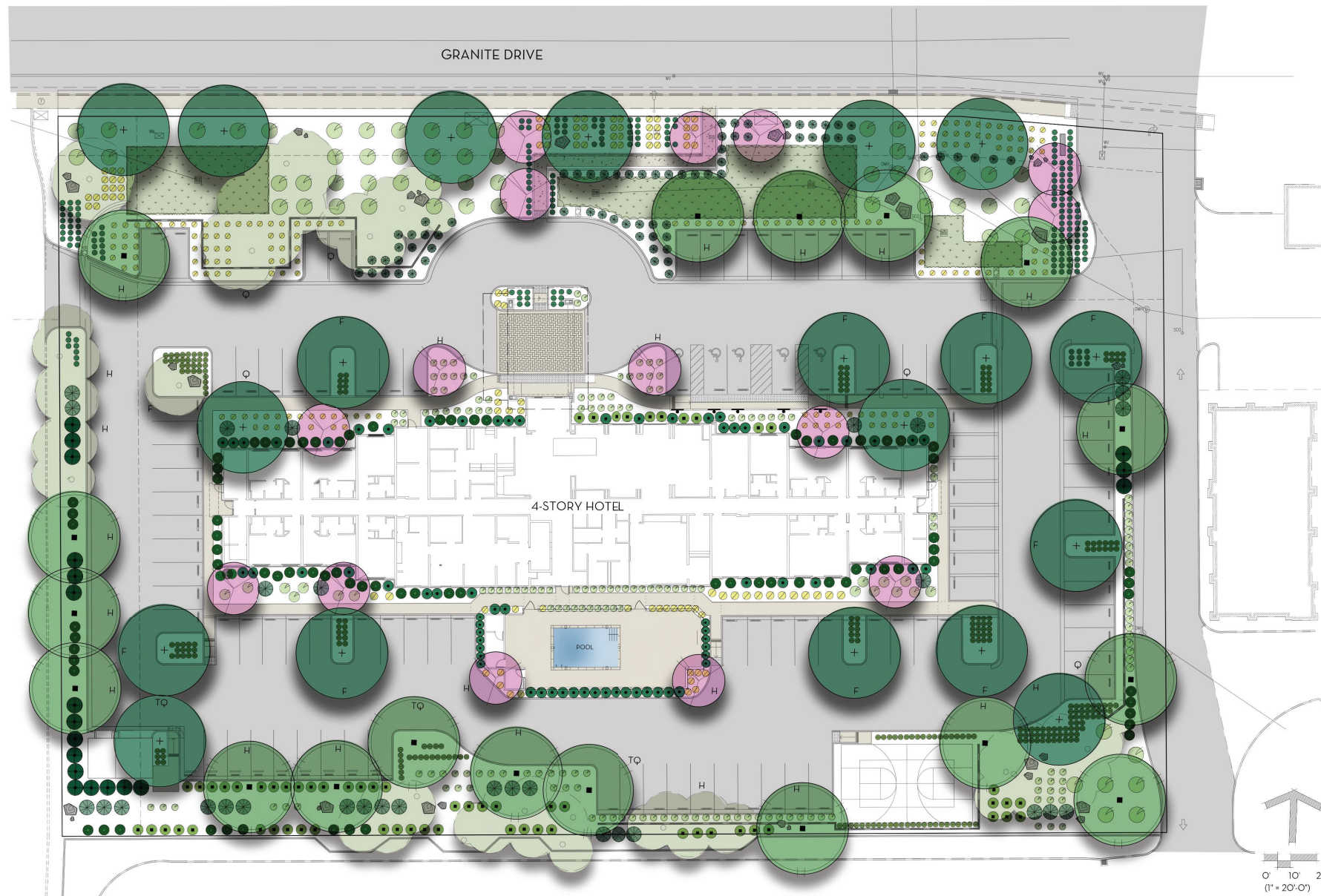
DALE G. MELL
 & ASSOCIATES
 ENGINEERING & SURVEYING SERVICES
 2090 NORTH WINERY AVENUE, FRESNO, CALIFORNIA 93703
 (559) 292-4246 • FAX 251-9220 • EMAIL: STAFF@DALEMELL.COM

STORM WATER QUALITY CONTROL PLAN

HAMPTON INN & SUITES
 GRANITE DRIVE, ROCKLIN, CA

PRELIMINARY
 NOT FOR CONSTRUCTION

JOB # 19-045
 DRAWN BY: J. LOR
 CHECKED BY: DGM
 SCALE: 1" = 20'
 DATE: 11/26/19
 DWG # 19-0455WGCP
 FIELD BOOK: 427
 DATE OF SURVEY: 04/17/19
 LAST REVISION:
 SHEET 4 OF 4



PLANT LEGEND

TYPE	BOTANICAL NAME	COMMON NAME	WATER USE	SIZE	HEIGHT/WIDTH
(E)	TREES TO REMAIN, PROTECT IN PLACE				
30'-35' DIA. SHADE TREES					
	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE TREE	M	15 GAL.	35' x 30'
	NYSSA SYLVATICA	SWEET GUM	M	15 GAL.	35' x 30'
	PISTACIA CHINENSIS 'KEITH DAVEY'	FRUITLESS CHINESE PISTACHE	L	15 GAL.	35' x 35'
	QUERCUS DOUGLASII	BLUE OAK	VL	24' BX	40' x 50'
	QUERCUS LOBATA	VALLEY OAK	L	24' BX	40' x 40'
	QUERCUS WISLIZENII	INTERIOR LIVE OAK	VL	24' BX	40' x 45'
	ULMUS PARVIFOLIA 'EMER II ALLEE'	CHINESE ELM	L	15 GAL.	40' x 30'
ACCENT TREES					
	AESCULUS CALIFORNICA	CALIFORNIA BUCKEYE	VL	15 GAL.	25' x 30'
	CHIONANTHUS RETUSUS	CHINESE FRINGE TREE	M	15 GAL.	25' x 18'
	COTINUS COGGYGRIA 'ROYAL PURPLE'	PURPLE SMOKE TREE	L	15 GAL.	15' x 15'
	LAURUS NOBILIS	SWEET BAY	L	15 GAL.	25' x 25'
SCREEN SHRUBS (5'-HIGH)					
	ARBUTUS UNEDO 'COMPACTA'	COMPACT S'-RAWBERRY TREE	L	5 GAL.	8' x 8'
	CALLISTEMON VIMINALIS 'SLIM'	SLIM BOTTLEBRUSH	L	5 GAL.	8' x 5'
	GREVILLEA ROSMARINIFOLIA	ROSEMARY GREVILLEA	L	5 GAL.	6' x 6'
	PRUNUS CAROLINIANA 'COMPACTA'	COMPACT CAROLINA CHERRY LAUREL	L	5 GAL.	8' x 8'
FOUNDATION SHRUBS					
	CALLISTEMON V. 'LITTLE JOHN'	DWARF BOT'LEBRUSH	L	5 GAL.	3' x 3'
	DIETES IRIDIODES	AFRICAN IRIS	L	5 GAL.	3.5' x 3.5'
	LOMANDRA 'PLATINUM BEAUTY'	VAREGATED DWARF MAT RUSH	L	3 GAL.	2' x 2'
	MUHLENBERGIA DUBIA	DINE MUILLY	L	5 GAL.	3' x 5'
	RHAPHIOLEPIS UMBELLATA 'MINOR'	DWARF YEDDO HAWTHORN	L	5 GAL.	3.5' x 3.5'
	WESTRINGIA R. 'MORNING LIGHT'	VAREGATED COAST ROSEMARY	L	5 GAL.	3' x 3'
ACCENT SHRUBS					
	ACHILLEA 'MOONSHINE'	YELLOW YARROW	L	1 GAL.	2' x 2'
	ANIGOZANTHOS HYBRID 'RED'	RED KANGAROO PAW	L	5 GAL.	3.5' x 2.5'
	BOUTELOUJA G. 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA	L	1 GAL.	1.5' x 1.5'
	CALAMAGROSTIS x ACU. 'KARL FOERSTER'	FEATHER REED GRASS	L	5 GAL.	4' x 3'
	FESTUCA 'ELIJAH BLUE'	BLUE FESCUE	L	1 GAL.	1' x 1', 18" O.C.
	HESPERALOE PARVIFOLIA 'YELLOW'	YELLOW YUCCA	L	5 GAL.	3.5' x 3.5'
	MUHLENBERGIA CADILLARIS	PINK MIJIBI V	L	5 GAL.	3' x 6'
	PEROVSKIA A. 'BLUE SPIRES'	RUSSIAN SAGE	L	5 GAL.	3.5' x 3.5'
	PHORMIUM TEN. 'ATROPURPUREUM'	NEW ZEALAND FLAX	L	5 GAL.	7' x 7'
	SALVIA MICRO. 'HOT LIPS'	HOT LIPS SAGE	L	1 GAL.	3' x 4'
	SANTOLINA VIRENS	GREEN LAVENDER COTTON	L	1 GAL.	2' x 3', 36" O.C.
	YUCCA FIL. 'COLOR GUARD'	VAREGATED ADAM'S NEEDLE	M	3 GAL.	3' x 4'
BIO-RETENTION AREAS					
	CHONDROPETALUM TECTORUM	CAPE RUSH	L	5 GAL.	3' x 3'
	JUNCUS EFFUSUS 'QUARTZ CREEK'	QUARTZ CREEK SOFT RUSH	M	1 GAL.	2.5' x 2.5'
	MUHLENBERGIA RIGENS	DEER GRASS	L	5 GAL.	4' x 4'
MULCH					
	WALK-ON BARK MULCH, 3" LAYER				

PRELIMINARY PARKING LOT AREA SHADE CALCULATIONS

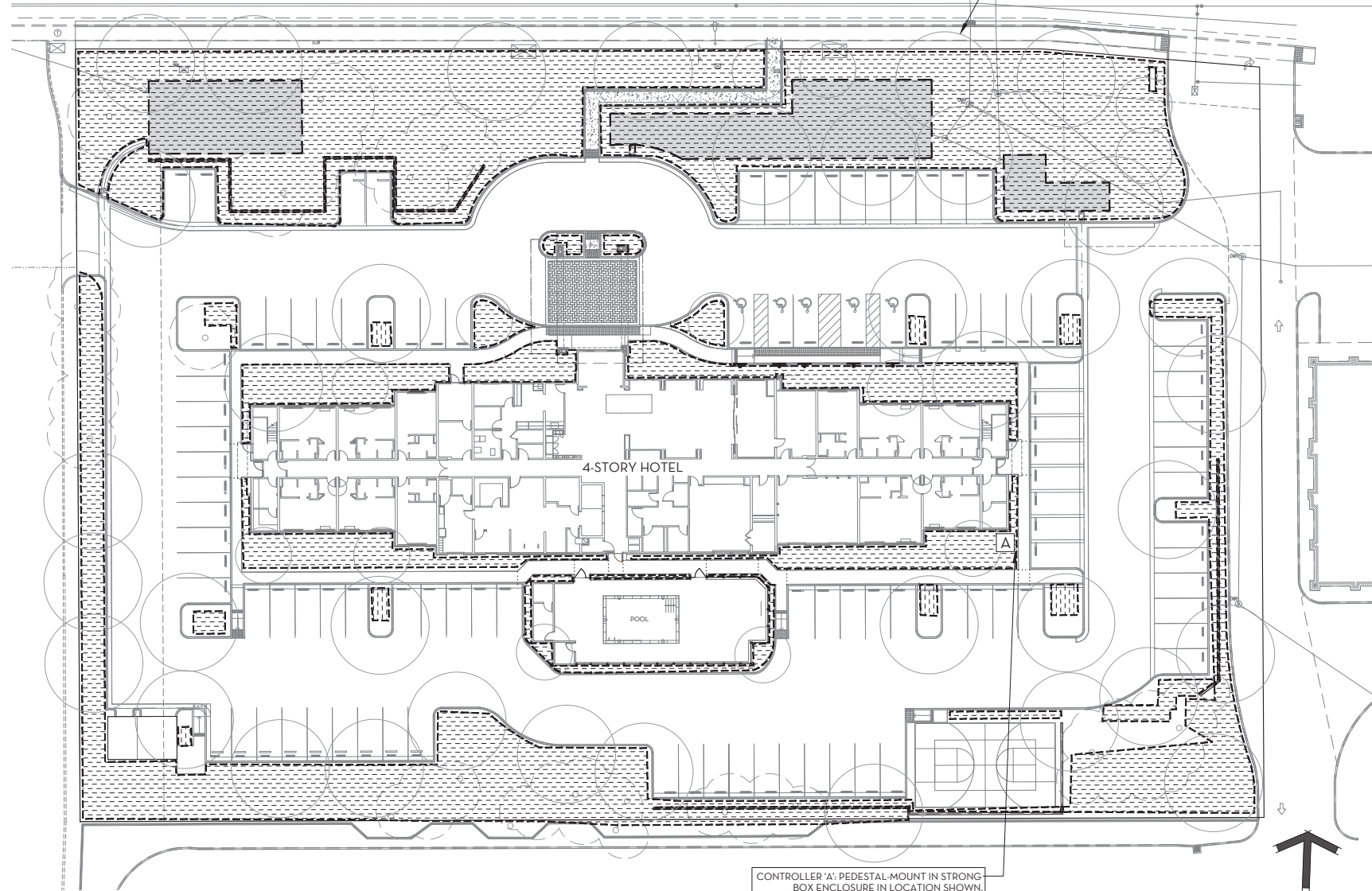
TREE CANOPY SIZE	F	TQ	H	Q	TOTAL	
35' DIA.	10@962	3@721	18@481	5@240	21,641 SF	
20' DIA.	0@314	0@235	4@157	0@79	628 SF	
					TOTAL TREE SHADE	22,269 SF
					PORTE COCHERE	980 SF
					TOTAL TREE SHADE	23,249 SF
					TOTAL PARKING LOT AREA	46,480 SF
					50% REQUIRED	23,240 SF
					PERCENT SHADED	50%

SITE LANDSCAPE CALCULATION

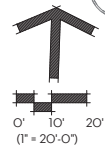
TOTAL SITE: 115,953 SF
 20% MIN. REQUIRED TO BE LANDSCAPE
 20% = 23,190 SF
 PROVIDED LANDSCAPE: 34,106 SF (29%)

GRANITE DRIVE

TREE CANOPIES SHOWN FOR REFERENCE ONLY. SEE PLANTING PLAN FOR MORE INFORMATION.



CONTROLLER 'A': PEDESTAL-MOUNT IN STRONG BOX ENCLOSURE IN LOCATION SHOWN. COORDINATE ELECTRICAL CONNECTION AND PLACEMENT OF WEATHER STATION.



IRRIGATION LEGEND

SYMBOL	MAN.	MODEL NO.	DESCRIPTION	RADIUS	PSI	GPM	PRECIP. RATE
	TORO	RGP-218-05	DL2000 SERIES PC DRILINE: 0.53 GPH, 18" EMITTER SPACING. INSTALL TUBING ON-GRADE, PER MANUFACTURER'S INSTRUCTIONS, IN 18" SPACED ROWS AT AREAS SHOWN. SEE DETAIL X, SHEET LX.X.	N/A		30	N/A 0.38
	TORO	T-FCH-H	MANUAL FLUSH VALVE. INSTALL AT GRADE IN 10" ROUND VALVE BOX IN PLANTER AREA LOCATED AT FARTHEST POINT FROM DRIP ZONE VALVE, TYP. SEE DETAIL X, SHEET LX.X.				
	TORO	T-DL-MP9	POP-UP OPERATION INDICATOR. INSTALL PER MANUFACTURER'S INSTRUCTIONS. SEE DETAIL X, SHEET LX.X.				
	TORO	TYD-500-34	AIR RELIEF VALVE. INSTALL AT-GRADE IN 10" ROUND VALVE BOX IN PLANTER AREA LOCATED AT HIGHEST ELEVATION POINT WITHIN DRIP ZONE VALVE, TYP. SEE DETAIL X, SHEET LX.X.				
NOT SHOWN	TORO (VARIES)		DL2000 CONNECTION FITTINGS, AS REQUIRED.				
	TORO	FB-25-PC	0.25 GPM TREE FLOOD BUBBLERS *TWO PER TREE SEE DETAIL X, SHEET LX.X.	N/A		30	0.25 0.86 *0.5 *1.72
	TORO	P220S-27-O /SLDEC1	P-220 SCRUBBER SERIES CONTROL VALVE W/ EZR-100 PRESSURE REGULATOR. SIZE AS NOTED. SEE DETAIL X, SHEET LX.X.				
	TORO	DZK-700-1-LF/MF /SLDEC1	DRIP ZONE VALVE KIT 1" 700 ULTRA-FLOW, IN-LINE, LOW OR MEDIUM FLOW VALVE W/ FILTER AND LOW OR MEDIUM-FLOW REGULATOR & FITTINGS. INSTALL LOW FLOW ASSEMBLY FOR ZONES LESS THAN 8 GPM AND MEDIUM FLOW ASSEMBLY FOR ZONES OVER 8 GPM. SEE DETAIL X, SHEET LX.X.				
	NIBCO	T-113	GATE VALVE, LINE SIZE. SEE DETAIL X, SHEET LX.X.				
	TORO	100-ATVLC	1" QUICK COUPLING VALVE W/ LOCKING VINYL COVER. SEE DETAIL X, SHEET LX.X.				
	TORO	P220S	1" MASTER VALVE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. SEE DETAIL X, SHEET LX.X.				
	CST	FSI-T10-000	1" FLOW SENSOR FOR USE WITH CONTROLLER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.				
	IRRITROL	TC-12-EX-R w/ CL-100	TOTAL CONTROL CONTROLLER WITH WIRELESS WEATHER SENSING SYSTEM. CONTACT LANCE MATHESON WITH TORO AT (916)-622-3262 FOR QUOTE NUMBER AND PRICING & PRE-CONSTRUCTION MEETING.				
			MAINLINE: PVC SCHEDULE 40 FOR SIZES 2" OR SMALLER, PVC CLASS 315 FOR SIZES 2" OR ABOVE. SOLVENT WELD FITTINGS AT 24" DEPTH, SIZE AS NOTED.				
			ELECTRICAL SERVICE CONDUIT WITH WIRES, RUN ALONG MAINLINE TO VALVE CONNECTIONS.				
			IRRIGATION LATERAL LINE: CLASS 200 PVC UP TO 2"; SCHEDULE 40 PVC PIPE FOR 2.5" OR ABOVE. SOLVENT WELD FITTINGS AT 18" DEPTH, SIZE AS NOTED.				
			IRRIGATION SLEEVE: SCHEDULE 40 PVC, SIZE TO BE 2X THE TOTAL OF PIPE DIAMETER. INSTALL UNDER ALL NEW PAVING AND EXTEND 12" BEYOND HARDSCAPE EDGES				
			HYDROZONE AREA DELINEATION				
	CONTROLLER/ HYDROZONE #						
	VALVE SIZE						

NOTE: FULL IRRIGATION SYSTEM COVERAGE DELINEATION SHOWING MWLO COMPLIANCE WILL BE SUBMITTED FOR PLANS FOR BUILDING PERMITS

ROCKLIN HAMPTON INN & SUITES, 4280 SIERRA COLLEGE BLVD., ROCKLIN, CA 95677
WATER EFFICIENT LANDSCAPE WORKSHEET
(APN 045-041-018-000)

REGULAR LANDSCAPE AREAS								
VALVE NUMBER	IRRIGATION METHOD	PLANT WATER USE	PLANT FACTOR (PF)	IRRIGATION EFFICIENCY (IE)	LANDSCAPE AREA (SF)	ETAF (PF/IE)	ETAF x AREA	ETWU
A1	DRIP	LOW	0.2	0.81	23,196	0.25	5,727.41	185,362
A2	DRIP	MODERATE	0.4	0.81	5,798	0.49	2,843.21	92,665
BIO	DRIP	MODERATE	0.4	0.81	4,292	0.49	2,119.51	68,596
A3	TREE BUBBLEF	LOW	0.2	0.81	980	0.25	241.98	7,831
A4	TREE BUBBLEF	MODERATE	0.5	0.81	476	0.62	293.83	9,509
POOL	N/A	HIGH	0.8	0.75	375	1.07	400.00	12,546
TOTALS:				(A)	35,117	(B)	11,645.93	376,909

SPECIAL LANDSCAPE AREAS								
VALVE NUMBER	IRRIGATION METHOD	PLANT WATER USE	PLANT FACTOR (PF)	IRRIGATION EFFICIENCY (IE)	LANDSCAPE AREA (SF)	ETAF (PF/IE)	ETAF x AREA	ETWU
A5	N/A	HIGH	0.8	0.75	100	1.00	100.00	3,236
TOTALS:				(C)	100	(D)	100.00	3,236

TOTAL AREA: 35,217

ETWU	52.20	ETWU = (ETO x 0.62 x ETAF x AREA)	ETWU TOTAL:	380,145
ETAF:	0.45	MAWA = (ETO x 0.62 [(ETAF x LA) + (1-ETAF) x SLA])	MAWA TOTAL:	513,217

*ETAF IS 0.55 FOR RESIDENTIAL APPLICATIONS AND 0.45 FOR COMMERCIAL APPLICATIONS.
**TREE AREA IS CALCULATED BY THE AREA COVERED BY "ROOF" BALL IRRIGATION (2835 FE²).

ETWU - MAWA

ETAF CALCULATIONS		
REGULAR LANDSCAPE AREAS		
TOTAL ETAF x AREA	(B)	11,645.93
TOTAL AREA	(A)	35,117
AVERAGE ETAF	(B) / (A) =	0.33

**PRELIMINARY CALCULATIONS ASSUME THAT 80% OF SHRUBS/GROUND COVER ARE ON LOW VALVES, 20% OF SHRUBS/GROUND COVER ARE ON MODERATE VALVES, BIO-RETENTION AREAS ARE ON MODERATE VALVES, 1/3 OF TREES ARE ON MODERATE VALVES AND 2/3 TREES ARE ON LOW VALVES.

ALL LANDSCAPE AREAS		
TOTAL ETAF x AREA	(B + D)	11,745.93
TOTAL AREA	(A + C)	35,217
SITEWIDE ETAF	(B + D) / (A + C) =	0.33

WATER EFFICIENT LANDSCAPE WORKSHEET
NO SCALE

ALED4T150NK

RAB



Color: Black Weight: 32.9 lbs

Project: _____ Type: _____

Prepared By: _____ Date: _____

Driver Info		LED Info	
Type	Constant Current	Watts	150.00W
120V	1.31A	Color Temp	4000K (Neutral)
208V	0.80A	Color Accuracy	71 CRI
240V	0.69A	L70 lifespan	100,000
277V	0.60A	Lumens	17,822
Input Watts	154.00W	Efficacy	115.7 LPW
Efficiency	87%		

Technical Specifications

Listings
UL Listed:
Suitable for wet locations
IESNA LM-79 & LM-80 Testing:
RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.
LED Characteristics
Lifespan:
100,000-hour LED lifespan based on ES LM-80 results and TM-21 calculations
LEDs:
Multi-chip, high-output, long-life LEDs
Color Consistency:
3-step MacAdam Ellipse binning to achieve consistent luminaire-to-luminaire color
Color Stability:
LED color temperature is warranted to shift no more than 200K in CCT over a 5-year period
Color Uniformity:
RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

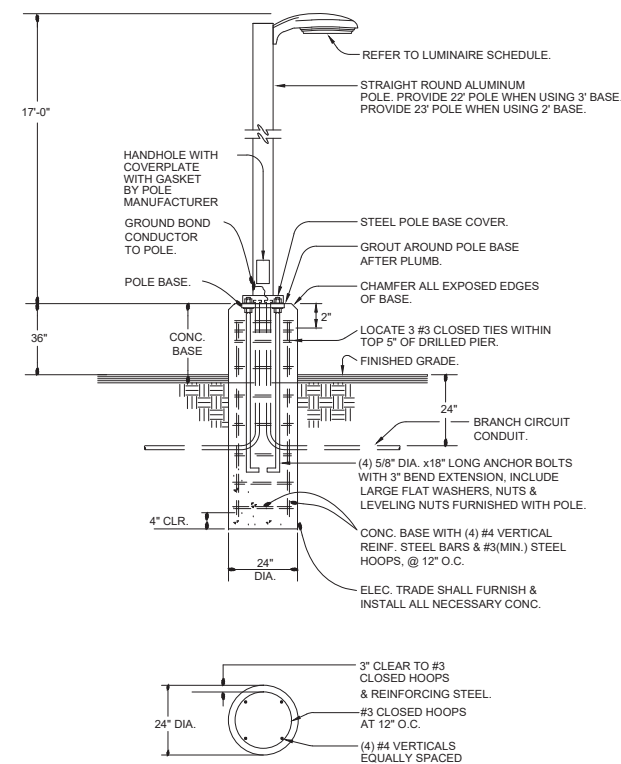
Construction
IES Classification:
The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semi-circular distribution with essentially the same candlepower at lateral angles from 90° to 270°.
Effective Projected Area:
EPA = 0.75
Maximum Ambient Temperature:
Suitable for use in 40°C (104°F)
Cold Weather Starting:
Minimum starting temperature is -40°C (-40°F)
Thermal Management:
Superior thermal management with external "Air-Flow" fins
Reflector:
Specular vacuum-metallized polycarbonate
Gaskets:
High-temperature silicone gaskets
Finish:
Formulated for high durability and long-lasting color
Lens:
Tempered glass lens
Housing:
Die-cast aluminum housing, lens frame and mounting arm

IP Rating:
Ingress Protection rating of IP66 for dust and water
Mounting:
Universal mounting arm compatible for hole spacing patterns from 1" to 5 1/2" center to center. Round Pole Adaptor plate included as a standard. Easy slide and lock to mount fixture with rear Round pole diameter must be >4" to mount fixtures at 90° elevation

Need help? Tech help line: (888) 722-1109 Email: custserv@rablighting.com Website: www.rablighting.com
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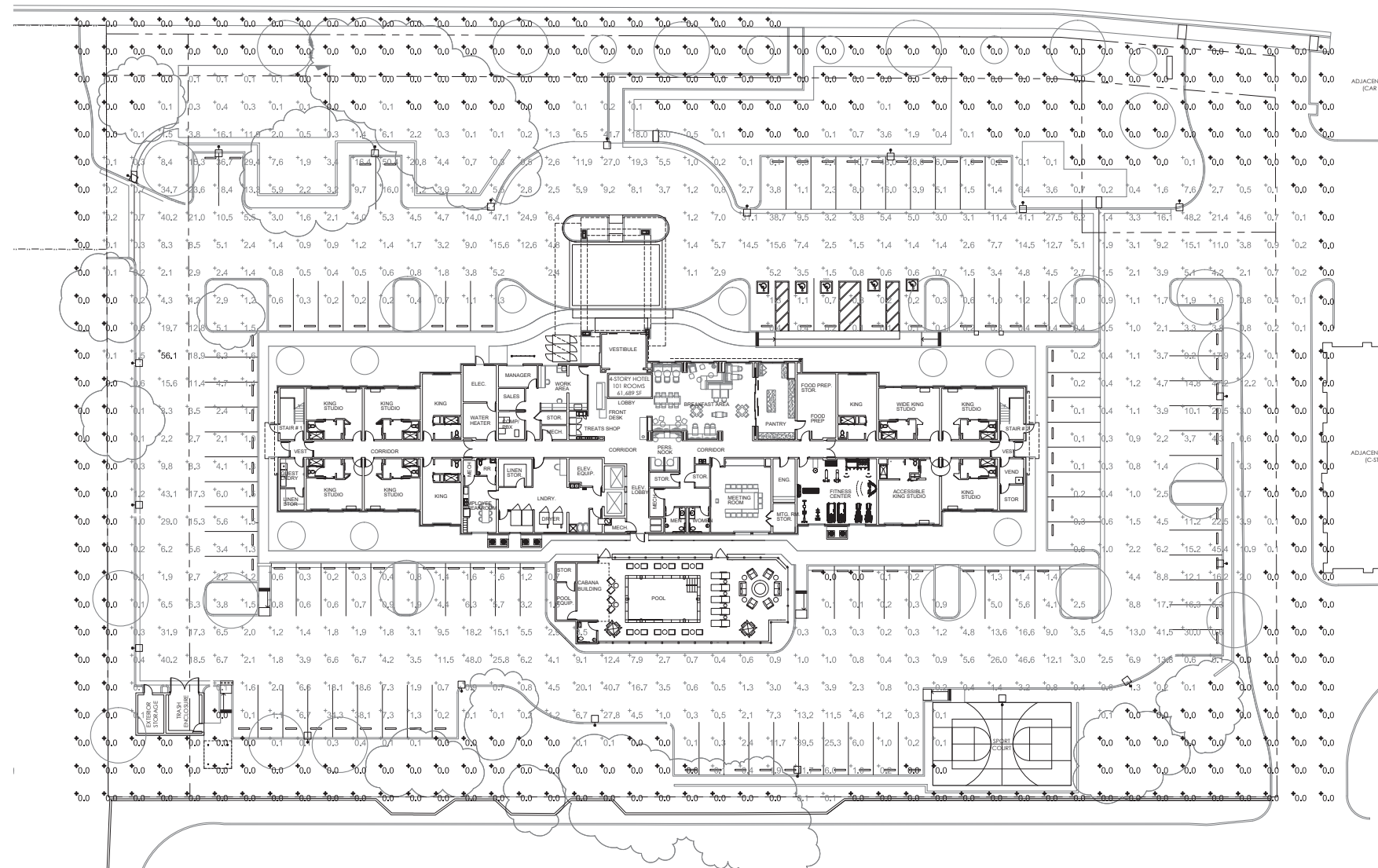
Page 1 of 3

OUTDOOR LIGHTING FIXTURE SCHEDULE									
I.D.	DESCRIPTION	APPLICATION	LAMP-DRIVER	INPUT VA	VOLTS	LENS	MOUNT	MANUF.	MODEL
A	PARKING LOT LIGHT	PARKING LOT	LED - ELECTRONIC	156	120	NONE	POLE	RAB	ALED 4T 150 SF N K D10 WS2



POLE MOUNT DETAIL
NONE

②



SITE PLAN
SCALE: 1" = 20'-0"

①

OWNER
CONTRACTOR
This drawing is not final or to be used for construction until it is signed by the architect and the owner.

PLANNING DEPARTMENT SUBMITTAL

HAMPTON INN & SUITES - ROCKLIN

LOT W. OF 4280 SIERRA COLLEGE BLVD., ROCKLIN, CA 95677

NOT FOR CONSTRUCTION

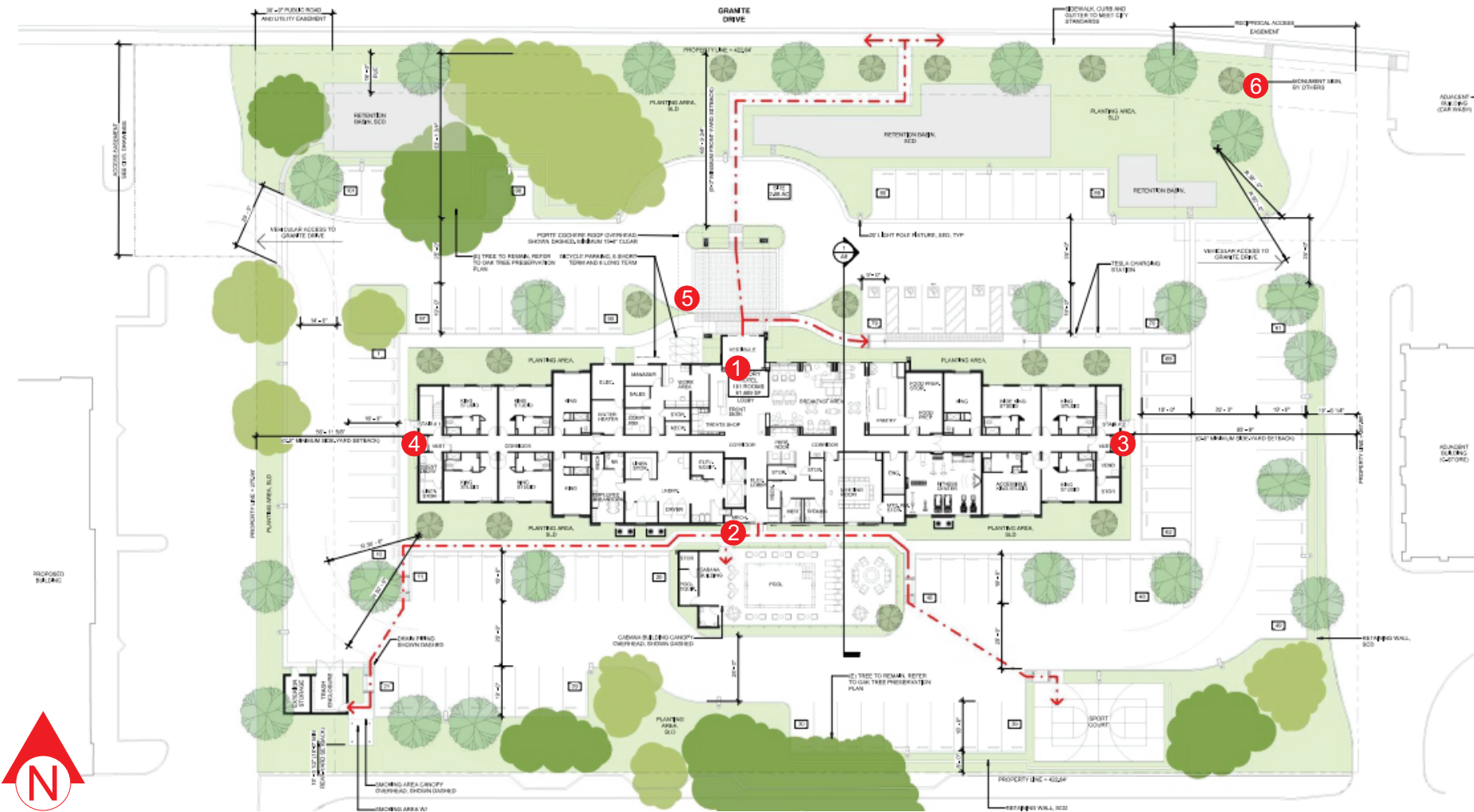
PHOTOMETRIC STUDY

DFH & ASSOCIATES
ELECTRICAL ENGINEERING LLC
530.613.7966
P.O. BOX 1362,
MEADOW VISTA, CA 95722
DFHENG@ATT.NET

Project Number
18061
Drawn By
dth
Checked By
dth

E1

**HAMPTON INN & SUITES
LOT WEST OF
4280 SIERA COLLEGE BLVD
ROCKLIN, CA 95677**



PROPOSED SIGNS:

- ① 36" CHANNEL LETTERS
- ② 24" CHANNEL LETTERS
- ③ 36" CHANNEL LETTERS
- ④ 36" CHANNEL LETTERS
- ⑤ 12" WELCOME LETTERS
- ⑥ 6' 3-5/8" X 9' 6" MONUMENT AT 12' 0" OAH

Customer:
HAMPTON INN & SUITES

Date:
02/06/20

Prepared By:
SC/KH

Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.

Location:
ROCKLIN, CA

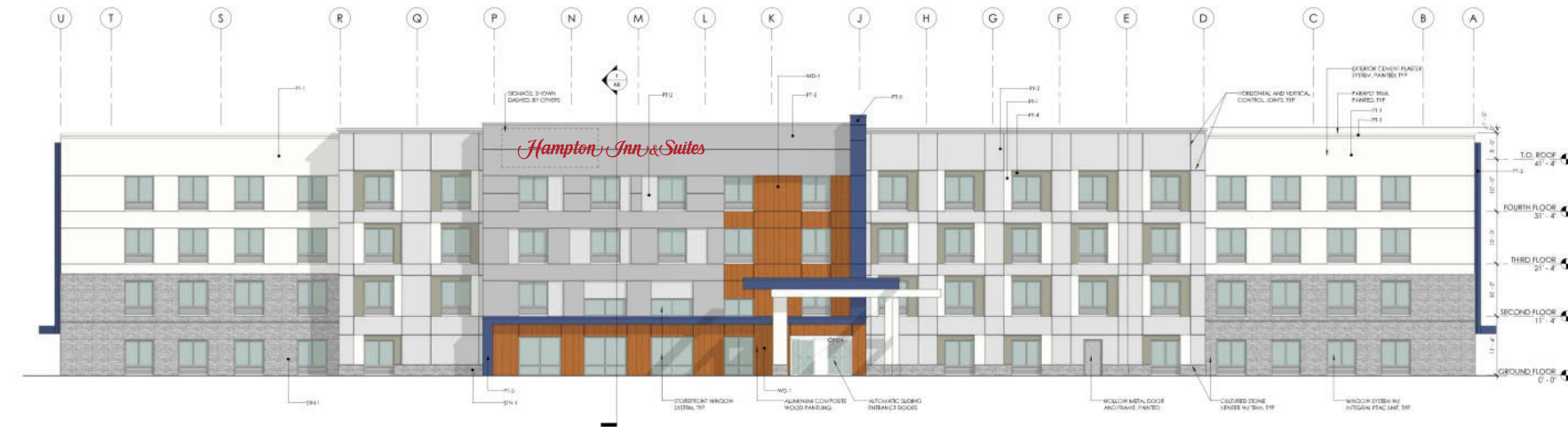
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234045 - R3 - ROCKLIN, CA

Eng:
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FRONT (NORTH) ELEVATION
SCALE: 1/32" = 1'-0"



CHANNEL LETTER DETAIL
SCALE: 1/4" = 1'-0"

APPROVAL BOX - PLEASE INITIAL		
CUSTOMER APPROVAL		Date

NOTE: Elevation drawings are for customer approval only, drawings are not to be used as any installation guide, all dimensions must be verified before installation.

Customer: HAMPTON INN & SUITES	Date: 2/14/20	Prepared By: SC/KH/TB	<p><small>Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.</small></p>	 <p>persona SIGNS LIGHTING IMAGE</p>	<p>DISTRIBUTED BY SIGN UP COMPANY 700 21st Street Southwest PO Box 210 Watertown, SD 57201-0210 1.800.843.9888 • www.personasigns.com</p>
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REAR (SOUTH) ELEVATION
SCALE: 1/32" = 1'-0"



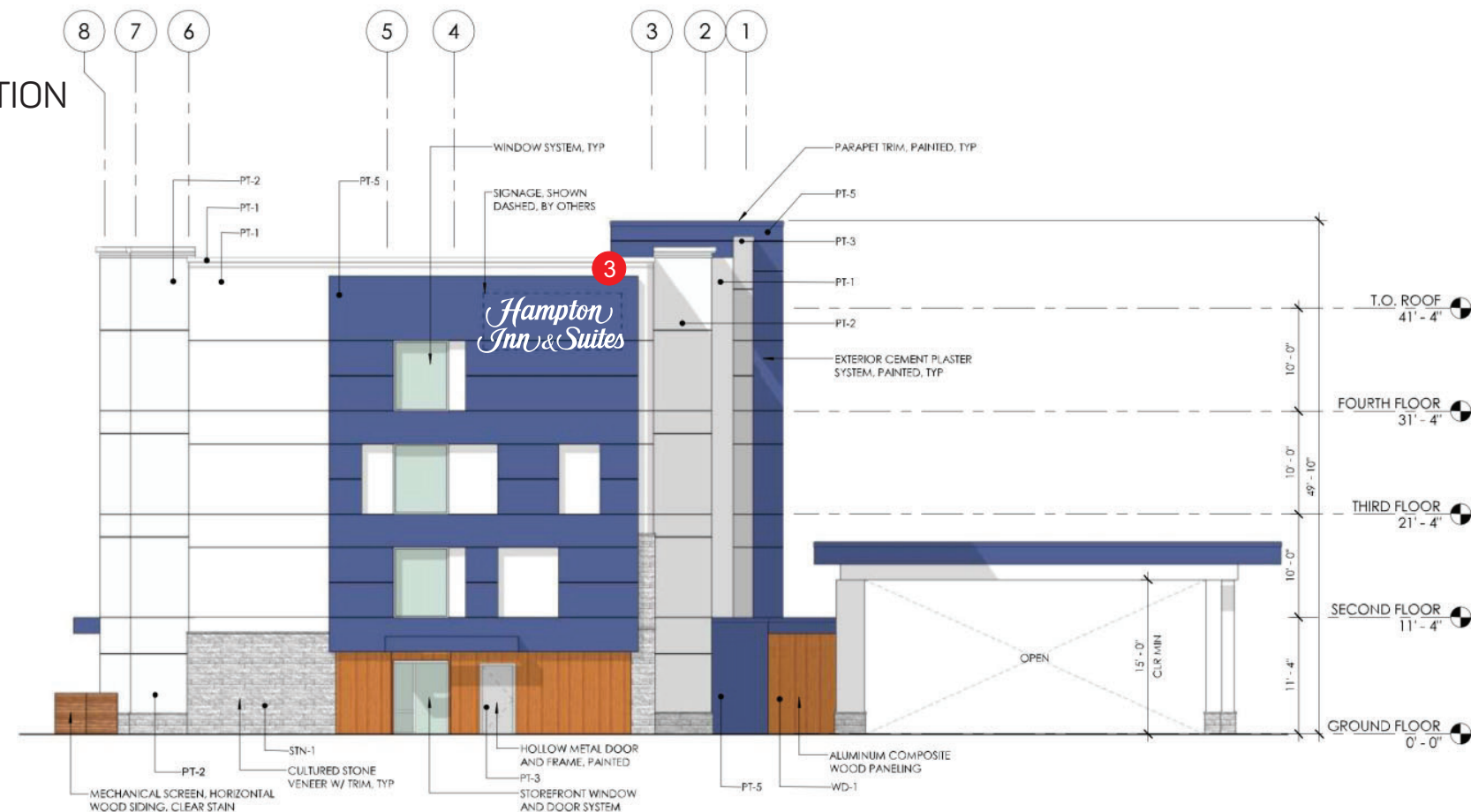
CHANNEL LETTER DETAIL
SCALE: 1/4" = 1'-0"

APPROVAL BOX - PLEASE INITIAL		
CUSTOMER APPROVAL		Date

NOTE: Elevation drawings are for customer approval only, drawings are not to be used as any installation guide, all dimensions must be verified before installation.

Customer: HAMPTON INN & SUITES	Date: 23JAN20	Prepared By: SC	<small>Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.</small>	 signs lighting image	DISTRIBUTED BY SIGN UP COMPANY 700 21st Street Southwest PO Box 210 Watertown, SD 57201-0210 1.800.843.9888 • www.personasigns.com
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SIDE (EAST) ELEVATION
SCALE: 3/64" = 1'-0"




36"
5'-6"
*Hampton
Inn & Suites*

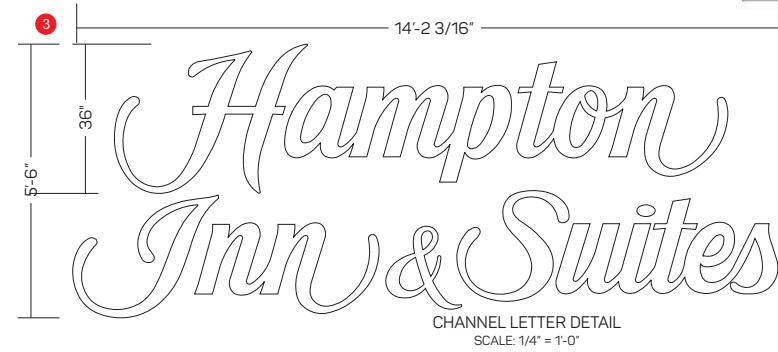
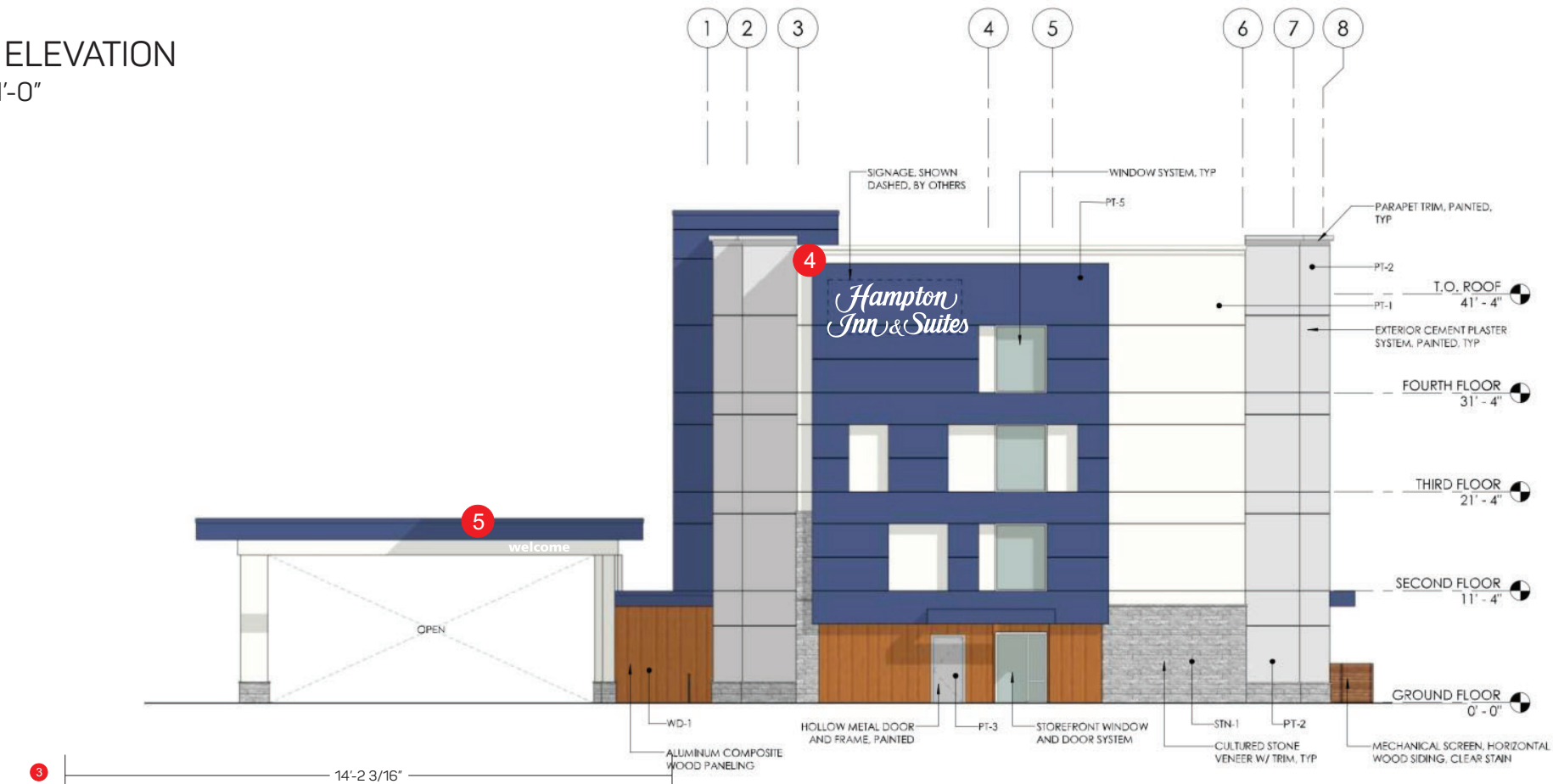
CHANNEL LETTER DETAIL
SCALE: 3/8" = 1'-0"

APPROVAL BOX - PLEASE INITIAL		
CUSTOMER APPROVAL		Date

NOTE: Elevation drawings are for customer approval only, drawings are not to be used as any installation guide, all dimensions must be verified before installation.

Customer: HAMPTON INN & SUITES	Date: 3/3/20	Prepared By: SC/KH/TB	<small>Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.</small>	 SIGNS LIGHTING IMAGE	DISTRIBUTED BY SIGN UP COMPANY 700 21st Street Southwest PO Box 210 Watertown, SD 57201-0210 1.800.843.9888 • www.personasigns.com
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SIDE (WEST) ELEVATION
SCALE: 3/64" = 1'-0"

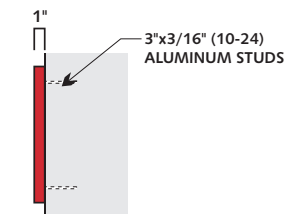


CHANNEL LETTER DETAIL
SCALE: 1/4" = 1'-0"

CHANNEL LETTER DETAIL
SCALE: 3/8" = 1'-0"



WELCOME LETTER DETAIL
SCALE: 3/8" = 1'-0"



END VIEW


1" DEEP KOMACEL LETTERS / FACES PAINTED WHITE & RETURNS PAINTED PMS 711 RED

STUD MOUNT ON EXISTING PORTE COCHERE AND SECURE WITH SILICONE ADHESIVE

HIS BL 30

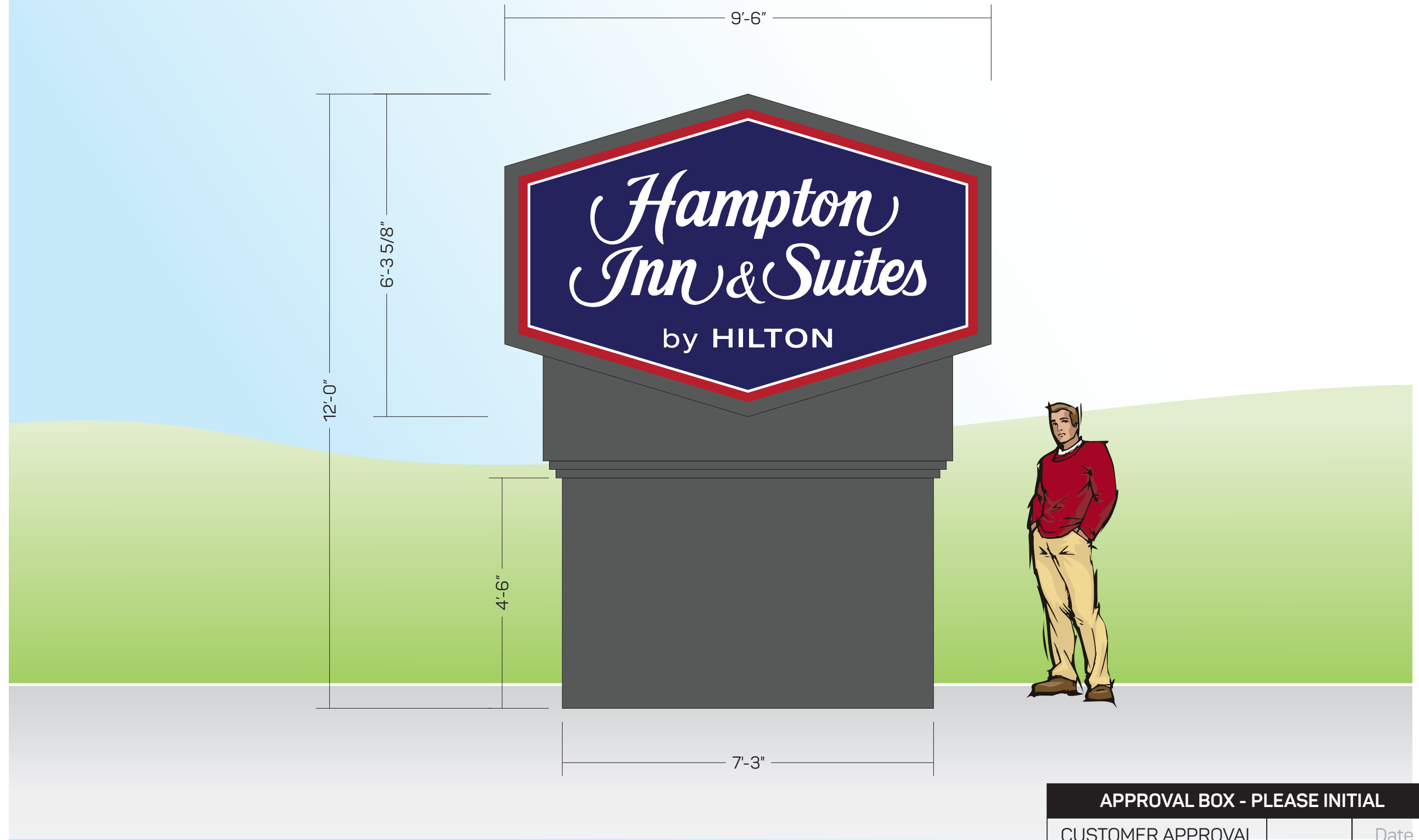
APPROVAL BOX - PLEASE INITIAL		
CUSTOMER APPROVAL		Date

NOTE: Elevation drawings are for customer approval only, drawings are not to be used as any installation guide, all dimensions must be verified before installation.

Customer: HAMPTON INN & SUITES	Date: 3/3/20	Prepared By: SC/KH/TB	<small>Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.</small>	 SIGNS LIGHTING IMAGE	DISTRIBUTED BY SIGN UP COMPANY 700 21st Street Southwest PO Box 210 Watertown, SD 57201-0210 1.800.843.9888 • www.personasigns.com
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6

MONUMENT ELEVATION
SCALE: 3/8" = 1'-0"



APPROVAL BOX - PLEASE INITIAL		
CUSTOMER APPROVAL		Date

NOTE: Elevation drawings are for customer approval only, drawings are not to be used as any installation guide, all dimensions must be verified before installation.

Customer: HAMPTON INN & SUITES	Date: 23JAN20	Prepared By: SC	<small>Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.</small>	 SIGNS LIGHTING IMAGE	DISTRIBUTED BY SIGN UP COMPANY 700 21st Street Southwest PO Box 210 Watertown, SD 57201-0210 1.800.843.9888 • www.personasigns.com
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