



New Project Information

The City of Rocklin is processing the below referenced application(s) for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved a hearing date will be set and public notice provided to alert neighbors and interested parties of the hearing date, availability of project information, the opportunity to comment on the project.

Application Received: March 15, 2024

Project Name and Requested Approvals:

Loveland Roofing

BARRO Zone (BZ2024-0002)

- Design Review
- Environmental

Staff Description of Project:

The project is a request for a Design Review construct an approximately 9,500 square foot nonresidential building, consisting of approximately 4,850 square feet of office and approximately 4,600 square foot garage space, on an approximately 28,000 square foot parcel within the Business Attraction, Retention, and Revitalization (BARRO) Overlay Zone. The project will include a parking area and associated drive aisles and landscaping on the same parcel.

Location:

The property address is 4625 Pacific Street. The site is an approximately 0.64-acre triangular parcel located south of the intersection of Pacific Street and Grove Street. The Assessor's Parcel Number (APN) is 010-030-006.

Land Use Designation(s)/Zoning:

The property is designated Retail Commercial (RC) in the Rocklin General Plan. The property is zoned C-3 and is located within the BARRO Overlay Zone.

This project does / XX does not require modification or change of the land use designations and regulations currently applicable to the project site.

Compliance with the California Environmental Quality Act:

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) has tentatively identified a Categorical Exemption as the appropriate level of environmental review for this project.

Applicant & Property Owner:

The owner/applicant is Loveland Properties, LLC; contact Jonathan Loveland.

Attached Information:

For additional detail, please visit the following link:

<https://www.rocklin.ca.us/post/>



City of Rocklin

Planning Division
3970 Rocklin Road
Rocklin, California 95677
Phone (916) 625-5160 FAX (916) 625-5195

UNIVERSAL APPLICATION FORM

NAME OF PROJECT: ~~Loveland Properties, LLC~~ Loveland Roofing

LOCATION: 4625 Pacific Street, Rocklin, CA 95677

ASSESSOR'S PARCEL NUMBERS: 010-030-006-000

DATE OF APPLICATION (STAFF): 3/14/24 RECEIVED BY (STAFF INITIALS): NTA

FILE NUMBERS (STAFF): BZ2024-0002 FEES: \$3971

RECEIPT No.: _____

Pre-Application Meeting Requirements:

It is required that a pre-application meeting be held with a Staff Planner prior to submitting most applications for planning entitlements and permits. The purpose of the pre-application meeting is to expedite application processing by enabling staff to work with the applicant to assure that the officially submitted application materials are in the proper format and that the applicant understands the City of Rocklin's goals, policies, and ordinances that may affect the project. A copy of these and other planning provisions is available at the applicant's request.

Generally, two sets of preliminary plans and a written description of the proposed project should be brought with the applicant to the pre-application meeting. To schedule this meeting, please contact a Staff Planner at the Rocklin Community Development Department by calling (916) 625-5160.

DATE OF PRE-APPLICATION MEETING: _____

THIS APPLICATION IS FOR THE FOLLOWING ENTITLEMENTS: (CHECK APPROPRIATE SQUARES)

<input type="checkbox"/> General Plan Amendment (GPA) Fee:	<input type="checkbox"/> Tentative Subdivision Map (SD) Fee:)	<input type="checkbox"/> Use Permit (U) <input type="checkbox"/> Minor (PC Approval - New Bldg) Fee: <input type="checkbox"/> Minor (PC Approval - Existing Bldg) Fee: <input type="checkbox"/> Major (CC Approval) Fee:
<input type="checkbox"/> BARRO Zone Application (BZ) Fee:	<input type="checkbox"/> Tentative Parcel Map (DL) Fee:	<input type="checkbox"/> Variance (V) Fee:
<input type="checkbox"/> Rezone (Reclassification) (Z) Fee:	<input checked="" type="checkbox"/> Design Review (DR) <u>\$3500</u> Commercial Fee: Residential Fee: Signs Fee:	<input type="checkbox"/> Oak Tree Preservation Plan Permit Planning Commission Fee: City Council Fee:
<input type="checkbox"/> General Development Plan (PDG) Fee:		<input type="checkbox"/> Modification to Approved Projects Fee:
<input type="checkbox"/> Concurrent Application (2 or more entitlements) Fee:		_____ File Number

Environmental Requirements: (STAFF)

<input checked="" type="checkbox"/> Exempt <u>-\$471</u>	<input type="checkbox"/> Mitigated Negative Declaration -
<input type="checkbox"/> Negative Declaration -	<input type="checkbox"/> EIR - See Fee Schedule

UNIVERSAL APPLICATION FORM (CONT.)

GENERAL PLAN DESIGNATION:	PROPERTY DATA:	UTILITIES:	
Existing: _____	Acres: <u>.64</u>	EXISTING	PROPOSED
Proposed: _____	Square Feet: <u>27,972</u>	<u>0</u> Pub. Sewer	<u>1</u> Pub. Sewer
Zoning:	Dimensions: _____	<u>0</u> Septic Sewer	<u>0</u> Septic Sewer
Existing: <u>C-3</u>	No. of Units: <u>1</u>	<u>0</u> Pub. Water	<u>1</u> Pub. Water
Proposed: <u>C-3</u>	Building Size: <u>9,476 SQ. FT.</u>	<u>0</u> Well Water	<u>0</u> Well Water
	Proposed Parking: <u>27</u>	<u>0</u> Electricity	<u>2</u> Electricity
	Required Parking: <u>23</u>	<u>0</u> Gas	<u>2</u> Gas
	Access: _____	<u>0</u> Cable	<u>2</u> Cable

PROJECT REQUEST: Request for approval of design review to construct a 9,476 square foot office building on .64 acres. Including 1 unit.

(Example: Request for approval of design review to construct a 10,000 square foot office building on 1.5 acres)

NOTE: Annexations, Lot Line Adjustments, and Rocklin Ranch Industrial Park Specific Plan Use Permits require special application forms and additional submittal information available from the Planning Division.

UNIVERSAL APPLICATION FORM (CONT.)

PLEASE PRINT OR TYPE:

NAME OF PROPERTY OWNER: Jonathan Loveland: Loveland Properties, LLC

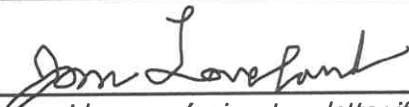
ADDRESS: 1715 Newcastle Rd.

CITY: Newcastle STATE: CA ZIP: 95658

PHONE NUMBER: 916-203-9005

EMAIL ADDRESS: jloveland@lovelandroofing.org

FAX NUMBER: _____

SIGNATURE OF OWNER 

(Signature Authorizing Application, provide owner's signature letter if signature is other than property owner.)

NAME OF APPLICANT
(If different than owner): _____

CONTACT: _____

ADDRESS _____

CITY: _____ STATE: _____ ZIP: _____

PHONE NUMBER: _____

EMAIL ADDRESS: _____

FAX NUMBER: _____

SIGNATURE OF APPLICANT _____

NOTIFICATION OF OWNERS OF MINERAL RIGHTS

Government Code section 6509a(a)(2) states that if the Subdivision Map Act requires notice to be given pursuant to Section 65091, in addition to noticing the surrounding property owners, notice must also be given to anyone who has filed with the County recorder's office a "notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code" on the subject property.

Therefore, mailing labels must be provided with this application for any owner of a mineral right pertaining to the subject real property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code (Subdivision Map Act Section 65091(a)(2)).

See page 24 of this application for instructions on how to submit mailing labels.

Section 65091(a)(2)

"(2) When the Subdivision Map Act (Div. d 9commencing with Section 66410)) requires notice of a public hearing to be given pursuant to this section, notice shall also be given to any owner of a mineral right pertaining to the subject property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code."

There **are** / **are not** (circle one) owner(s) of record of preserved mineral rights on the subject property and I, Jonathan Loveland, the applicant or applicant's representative, **have** / **have not** (circle one) provided the name and mailing address of record for any and all owners of mineral rights pursuant to Section 883.230 of the Civil Code.

Jonathan Loveland
Signature

2/2/2024
Date

**STATE OF CALIFORNIA
DEPARTMENT OF FISH AND GAME
FILING FEES**

In 1990, the State adopted a fee pursuant to AB 3158 for the review of environmental documentation by the State Department of Fish and Game. Subsequently, in 1991, the fees were challenged. Then, in June 1995, the Department of Fish and Game instructed the jurisdictions to stop collecting fees. Following a great deal of court action and in a memorandum dated February 26, 1996, the State Clearinghouse, Office of Planning and Research, stated that the fees must again be collected.

On September 29, 2006, Senate Bill 1535 was passed increasing the amounts of filing fees collected by the Department, and requires the Department to adjust the fees annually pursuant to Fish and Game Code Section 713.

As of January 1, 2018, State law requires all applicants who have a Notice of Determination filed for a Negative Declaration to pay a \$2,280.75 fee and those with a Notice of Determination for an Environmental Impact Report to pay a \$3,168.00 fee. Both types must pay an additional \$50.00 administrative fee making the total fees \$2,330.75 and \$3,218.00 respectively. Applicants whose projects require the filing of a Notice of Exemption will need to pay a \$50.00 administrative fee. The City will notify each applicant which of the fees must be paid.

PLEASE NOTE: Effective January 1, 2008, the fee exemption for projects determined to have a *De Minimis Impact Finding* has been eliminated. (Section 711.4 Fish and Game Code).

The Fish and Game filing fee must be paid prior to the filing of the Notice of Determination with the County Clerk. Since the CEQA law requires a Notice of Determination to be filed with the County within 5 days of an action by the City, all applicants must remit to the City the necessary fee amount no later than the day of the final scheduled public hearing for the proposed project.

PLEASE MAKE ALL CHECKS PAYABLE TO PLACER COUNTY.

If you have any questions regarding this matter, please do not hesitate to contact the Planning Department at (916) 625-5160. Upon review of the above, please sign and return this document with your application.

I, Jonathan Loveland, the applicant or applicant's representative, have read the information above and understand its meaning.

 2/2/2024

Signature Date

HAZARDOUS WASTE AND SUBSTANCES STATEMENT

Pursuant to California Government Code Section 56962.5, I have consulted the Hazardous Waste and Substances Sites List (Cortese List), consolidated by the State of California, Environmental Protection Agency and find that;


The project, including any alternatives, _____ is, is not (check which applies) located on a site which is included on the Hazardous Waste and Substances Sites List (Cortese List). If on the list, provide the following information:

Regulatory identification number: NA Date of list: _____

Type of problem: NA

I declare under penalty of perjury of the laws of the State of California that the foregoing is true and correct.

Dated: 2/2/2024

Applicant: 

Applicants can verify this information by reviewing the Hazardous Waste and Substances Sites List (Cortese List), available for review at the City of Rocklin Planning Department counter, or at the California Department of Toxic Substance Control web site:
<http://www.calepa.ca.gov/SiteCleanup/CorteseList/default.htm>

MITIGATION FOR AIR QUALITY IMPACTS

The US Environmental Protection Agency (EPA) and the California Air Resources Board (CARB) have established air quality standards, referred to as the National Ambient Air Quality Standards (NAAQS) and the State Ambient Air Quality Standards (SAAQS) respectively. The federal Clean Air Act and State Clean Air Act both require that areas in violation of the ambient air quality standards adopt strategies to attain these standards. The Placer County Air Pollution Control District (APCD) has primary responsibility for planning and maintenance and/or attainment of air quality standards within Placer County. California is divided into 15 air basins for the purpose of monitoring air quality. Placer County is included in the Sacramento Valley Air Basin. Areas may be classified as attainment, non-attainment, or unclassified with regard to the adopted standards. The unclassified designation is assigned in cases where monitoring data is insufficient to make a definitive determination. Under the federal standards, all of Placer County, including Rocklin, is designated as non-attainment for ozone. All other pollutants are designated unclassified in Rocklin. Under the state standards, South Placer, including Rocklin, is designated as non attainment for ozone and PM10 and unclassified for hydrogen sulfide and visibility reducing particulate.

The project would have the following short-term construction impacts, if not mitigated:

- a. Construction activities, including grading, would generate a variety of pollutants, the most significant of which would be dust (PM10). This would exacerbate the existing PM10 non attainment condition if not mitigated.
- b. Construction equipment would produce short-term combustion emissions, and asphalt materials used for streets and driveways would produce pollutants during curing.

The mitigation measures listed below will reduce the short term impacts to less-than-significant. In the long-term, vehicle trips to and from the project site would generate Carbon Monoxide and ozone precursor emissions, thereby contributing to the non-attainment status of the local air basin. These incremental and cumulative adverse air quality impacts cannot be completely mitigated. However, these impacts were anticipated by the City of Rocklin General Plan, and were addressed through the 1991 Rocklin General Plan EIR and the North Rocklin Circulation and Traffic Study. Findings of overriding significance were adopted for the unmitigatable and unavoidable significant air quality impacts.

Therefore, I, as the applicant for the proposed project, agree that the mitigation measures listed below are incorporated as a part of my project description in order to mitigate for the short term impacts.

MITIGATION FOR AIR QUALITY IMPACTS (CONT.)

MITIGATIONS

1. The project shall conform with the requirements of the Placer County APCD.
2. Prior to commencement of grading, the applicant shall submit a dust control plan for approval by the City Engineer and the Placer County Air Pollution Control District. The plans shall specify measures to reduce dust pollution during all phases of construction.
3. Traffic speeds on all unpaved road surfaces shall be posted at 25 m.p.h. or less.
4. All grading operations shall be suspended when wind speeds exceed 25 m.p.h.
5. All trucks leaving the site shall be washed off to eliminate dust and debris.
6. All construction equipment shall be maintained in clean condition.
7. All exposed surfaces shall be revegetated as quickly as feasible.
8. If fill dirt is brought to the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
9. Apply water or dust palliatives on all exposed earth surfaces as necessary to control dust. Construction contracts shall include dust control treatment as frequently as necessary to minimize dust.
10. Construction equipment shall be properly maintained and tuned.
11. Utilize low emission mobile construction equipment where possible.
12. Open burning of vegetative material is prohibited.

Jonathan Loveland

Applicant's Name (printed)



Applicant's Signature

2/2/2024

Date



City of Rocklin

Planning Division
3970 Rocklin Road
Rocklin, California 95677
Phone (916) 625-5160 FAX (916) 625-5195

**ENVIRONMENTAL
INFORMATION SHEET**
(To be completed by
applicant)

LOCATION OF PROJECT (ADDRESS) 4625 Pacific Street, Rocklin, CA 95677

ASSESSORS PARCEL # 010-030-006-000

NAME OF PROJECT Loveland Properties, LLC

CONTACT / APPLICANT Jonathan Loveland

ADDRESS 1715 Newcastle Rd.
Newcastle, CA 95658

PHONE 916-203-9005 **EMAIL** jloveland@lovelandroofing.org

Project Description - Describe in detail. Add separate sheet if necessary.

Request for approval of design review to construct a 9,476
square foot office building on .64 acres. Including 1 unit.

Property size: 27,972 .64
Square Feet Acres
Land Use: Existing Proposed

RELATED PROJECTS: If this project is a part or portion of a larger project, describe the previous project by name, general development plan number, or other project identification. NA

PREVIOUS ENVIRONMENTAL DOCUMENTS: If this project is part of a larger project for which a negative declaration or an environmental impact report has been prepared and certified, reference the document below. Include the date and SCH#, if possible: NA

OTHER REQUIRED PERMITS OR APPROVALS:

Permit or Approval	Agency	Address	Contact Person/Phone
NA			

PREVIOUS LAND USES: Describe existing and previous land uses of the site for the last 10 years or more: NA

SITE CHARACTERISTICS

- 1. What natural features (trees, rock outcroppings etc.) presently exist on the site?
_____ 2 Small Trees _____

- 2. What are the surrounding land uses?
East Vacant _____ West Commercial _____ North Commercial _____ South Trailer Park _____

- 3. Is the project proposed on land which contains fill or a slope of 10% or more? No _____

- 4. Are there any existing erosion problems? No _____

- 5. Is the site on expansive soils (as defined in Table 18 of the UBC) or immediately adjoining an area subject to slides, liquefaction, slope instability or other related hazards? _____
If so, describe in detail, or refer to attached soils report.
No

- 6. Grading, excavating or filling activities - Quantity of cubic yards to be:
 - a. Moved within the site 50 Cubic Yards _____
 - b. Deposited on the site 0 _____
 - c. Removed from the site 0 _____Disposal site NA _____

- 7. Are there any streams or permanent water courses on the site? _____ No _____
Describe _____

- 8. Will the proposed project change drainage patterns or the quality of groundwater?
If so explain. If not, why not. No _____

- 9. Will the project affect any drainage channel, creek, pond or any other water body?
Describe below: No _____

10. Is any portion of the property located in a flood plain? No
 If so describe _____

11. Are there any jurisdictional wetlands or vernal pools on the site? If so how will they be impacted by the project? No

12. Are there any trees or shrubs on the project site? 2 Small Trees
 What types? Oak
 Are any to be removed or transplanted? NA
 State the location of transplant site: NA
 State the number & species to be removed: NA
13. Will the project affect the habitat of any endangered, threatened, or other special status species?
No

14. Will the project result in any new noise source, or will it place new residents in an area of high traffic noise or noise from any other source? No
15. What type of equipment will be associated with the project during construction?
Tractors, Saws, Compressors.

 During permanent operation? None
16. Describe any air pollutants, other than vehicle exhaust, which would be generated by this project, both during and after construction. Dust particulates are considered pollutants.
Tractor grading minimal.
17. Will the project produce new sources of dust, ash, smoke, fumes or objectionable odor? If yes, describe the source of the emission, methods to control emissions and means of mitigating those effects on adjacent properties: No
18. Will the project create any new light source, other than street lighting? If yes, describe below:
No
19. Is this property covered by a Williamson Act contract? No/NA
20. Has this property ever been used for agricultural purposes? No If so, for what purpose and when? Not to our knowledge.
21. Does the project involve the use of routine transport or disposal of hazardous materials?
No
22. Are there any known mineral resources of value to the region and the residents of the state located on the site? If so, what types? No
23. How close is the nearest school? Approx. 750 ft

24. PROPOSED BUILDING CHARACTERISTICS (BOTH RESIDENTIAL AND NON-RESIDENTIAL)

Size of new structure(s) or addition in gross square feet: 9,476 SQ. FT.
 Building height measured from ground to highest point in feet: 26' 3"
 Number of floors/stories: 1 Story
 Height of other appurtenances (antennas, steeples, mechanical equipment, etc.) measured from ground: NA
 Project site coverage: Building 9,476 sq.ft. 33 %
 Landscaping 3,612 sq.ft. 13 %
 Paving 12,589 sq.ft. 45 %
 Exterior building materials: Hardy Siding
 Exterior building colors: Swiss Coffee
 Wall and/or fencing material: Wood & Steel
 Total number of off-street parking spaces required: 23 Provided: 27
 Total number of bicycle parking spaces: 8

25. Is there any exposed mechanical equipment associated with the project? _____
 Location and screening method No

26. RESIDENTIAL PROJECTS

Total lots NA Total dwelling units NA
 Density/acre NA Total acreage NA

	Single Family	Two Family	Multi-Family (More than 2 units)
Number of Units	NA	NA	NA
Size of lot/unit	NA	NA	NA
Studio	NA	NA	NA
1 Bedroom	NA	NA	NA
2 Bedroom	NA	NA	NA
3 Bedroom	NA	NA	NA
4+ Bedroom	NA	NA	NA

27. RETAIL, COMMERCIAL, INDUSTRIAL, INSTITUTIONAL OR OTHER PROJECT

Type of use(s): Office Space and Warehouse
 Oriented to: Regional _____ City Yes Neighborhood _____
 Hours of operation: 7:00am - 6:00pm
 Total occupancy/Building capacity: NA
 Gross floor area: 9,476 Number of fixed seats: 40-50
 Number of employees (total): 10-20 Employees per shift: _____ Number of Shifts _____
 Number of visitors/customers on site at busiest time (best estimate): 1-5
 Other occupants (specify): NA

ALL PROJECTS

28. Approximately how many tons of solid waste will the project produce each year? NA

29. Will the proposed use involve any toxic or hazardous material? No
 Is the project site within 2,000 feet of an identified hazardous/toxic site? No
 Is the project site within 2,000 feet of a school or hospital? No
 If the project involves any hazardous material, explain: NA
30. How many new residents is the project estimated to generate? NA
31. Will the project generate a demand for additional housing? NA
32. What is the current and estimated number of motor vehicles to arrive at the site as a result of the project? 10-20
33. Could the project increase traffic hazards to motor vehicles, bicyclists or pedestrians? _____
 If yes, explain NA
34. How close is the project to the nearest public park or recreation area? Approx 2,000 ft
35. What school districts will be affected by this project? NA
36. Describe energy-efficient features included in the project. Solar Panels
37. Describe how the following services or utilities will be provided:
 Power and Natural Gas PG&E
 Telephone Xfinity or Comparable Local Provider
 Water PCWA
 Sewer SPMUD
 Storm Drainage NA
 Solid Waste NA
38. Will the project block any vista or view currently enjoyed by the public? No
39. Are there any known historic or significant building features on or near the site? If so, will the project result in any impact to the building? NA
40. Are there any archaeological features on the site? No If so, will the project result in any impact to these features? NA

LOVELAND PROPERTIES

4625 PACIFIC ST. ROCKLIN CA.95677
 ACCESSORS PARCEL NUMBER 010-030-008-000



SHEET: 1

T-1

LOVELAND PROPERTIES
 4625 PACIFIC ST.
 ROCKLIN CA 95677
 APN 010-030-008-000

DRAWINGS PROVIDED BY:
 DESIGNS BY FOSTER
 4625 PACIFIC ST.
 ROCKLIN CA 95677
 (530) 559-2684

TITLE SHEET

PERMIT #
 ??????????
 ??????????

SCALE:

DATE:
 3/13/24

SHEET: 1

T-1

APPLICABLE CODES 3/13/24
 2022 CALIFORNIA BUILDING CODE (C.B.C.)
 2022 CALIFORNIA MECHANICAL CODE (C.M.C.)
 2022 CALIFORNIA PLUMBING CODE (C.P.C.)
 2022 CALIFORNIA ELECTRICAL CODE (C.E.C.)
 2022 CALIFORNIA ENERGY CODE (CAL ENERGY)(2019 BUILDING ENERGY EFFICIENCY STANDARDS)
 2022 CALIFORNIA FIRE CODE (C.F.C.)
 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN)

PROJECT DATA 3/13/24
 PROJECT DESCRIPTION:
 CONSTRUCTION OF A COMMERCIAL BUILDING. (OFFICE / WAREHOUSE)
 PROJECT ADDRESS: 4625 PACIFIC ST. ROCKLIN CA 95677
 ASSESSOR'S PARCEL NUMBER: 010-030-008-000
 ZONING: COMMERCIAL C-3
 OCCUPANCY CLASSIFICATION: PERMITTED COMMERCIAL
 DESCRIPTION OF USE: OFFICE/ WAREHOUSE
 CONSTRUCTION TYPE: V-B
 STORIES: ONE
 SPRINKLERS: YES

FLOOR PLAN TABULATIONS:
 OFFICE FLOOR SQUARE FOOTAGE : 4851 SQ. FT.
 WAREHOUSE FLOOR SQUARE FOOTAGE : 4625 SQ. FT.
 TOTAL FLOOR SQUARE FOOTAGE : 9476 SQ. FT.

PROPERTY TABULATIONS:
 LOT AREA: .64 ACRES
 LOT SQUARE FOOTAGE: 27,972 SQUARE FEET
 STRUCTURE IMPERVIOUS SURFACE AREA: 9,476 SQ. FT.
 PARKING LOT IMPERVIOUS SURFACE AREA: 11,476 SQ. FT.
 SIDEWALK IMPERVIOUS SURFACE AREA: 1852 SQ. FT.
 TOTAL IMPERVIOUS SURFACE AREA: 22,804 SQ. FT.

TOTAL BIORETENTION AREA: 742 SQ. FT.
 TOTAL BIORETENTION PIT AREA: 758 SQ. FT.
 TOTAL PERVIOUS INFILTRATION AREA: 742 SQ. FT.
 REMAINING PERVIOUS AREA : 711 SQ. FT.

ON SITE PARKING: 4 - GARAGE SPACES
 23-SPACES
 27-TOTAL SPACES

MINIMUM SETBACKS:
 FRONT: 5 FT.
 REAR: 5 FT.
 SIDES: 10 FT.
 MAXIMUM ROOF HEIGHT : = 30'

PROJECT PRINCIPALS 3/13/24

OWNER
 LOVELAND PROPERTIES
 1715 NEWCASTLE RD. CA 95658
 (916) 203-9005 jloveland@lovelandroofing.org

DESIGNER
 DESIGNS BY FOSTER
 DON FOSTER / PHONE # (530) 559-2684
 21946 ANGELI PL GRASS VALLEY CA. 95949
 EMAIL : designsbydonfoster@gmail.com

STRUCTURAL ENGINEER
 BTS ENGINEERING
 BRIAN T. SUTLIFF/
 PHONE # (916) 96-0370
 EMAIL : brian.sutliff@sbccglobal.net

FIRE SPRINKLER DESIGN
 ACCURATE FIRE PROTECTION
 JOEL MYERS / PHONE # (916) 381-4101
 8980 BRADSHAW RD ELK GROVE CA. 95624
 EMAIL : jmyers@accuratefire.net

TITLE 24
 RESIDENTIAL COMMERCIAL ENERGY ENGINEERING
 RESCOM/ PHONE # (916) 373-1383 (888) 372-2263
 3166 SUI SUN BAY RD WEST SACRAMENTO CA. 95691
 EMAIL : Larry@Rescomee.com

DESIGNER NOTES 3/13/24

- CONSTRUCTION/PROJECT SHALL BE OF THE HIGHEST QUALITY OF WORKMANSHIP. ALL WALLS SHALL BE PLUMB AND TRUE. ALL CONNECTIONS SHALL BE MADE SECURE ACCORDING TO ACCEPTED CONSTRUCTION PRACTICES OR AS SPECIFIED HERE IN OR AS PER THE CURRENT UNIFORMED BUILDING CODE.
- THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT FULLY SPECIFIED. IT IS THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO SELECT, VERIFY, RESOLVE, AND INSTALL ALL MATERIALS AND EQUIPMENT WITH COMPLIANCE TO LOCAL CODES OR ORDINANCES.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO THE COMMENCEMENT OF WORK. ANY DISCREPANCIES APPARENT OR SUSPECTED SHALL BE REPORTED TO DESIGNER.
- THIS DESIGNER WILL NOT BE OBSERVING CONSTRUCTION OF THIS PARTICULAR PROJECT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE QUALITY CONTROL AND STANDARDS FOR THIS PROJECT.
- ALL CONSTRUCTION SHALL MEET OR EXCEED THE EDITION OF CODES ACCEPTED BY THE LOCAL GOVERNING AGENCIES AND ALL OTHER HEALTH AND SAFETY CODES, ORDINANCES, AND REQUIREMENTS ADOPTED BY THE GOVERNING AGENCIES.
- THIS DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY CHANGES, ERRORS, OMISSIONS, OR DEVIATIONS BY THE OWNER OR CONTRACTOR, EITHER INTENTIONAL OR ACCIDENTAL.
- OWNER IS TO NOTIFY THIS DESIGNER AFTER PLAN CHECK HAS BEEN PERFORMED BY BUILDING DEPARTMENT. THIS DESIGNER WILL NOT BE RESPONSIBLE FOR ANY BUILDING DEPARTMENT REVISIONS IF OWNER DOES NOT FURNISH (MARKED UP) SET OF PLANS TO DESIGNER FOR SPECIAL BUILDING DEPARTMENT REQUIREMENTS.
- ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED, INSTALLED, ERRECTED, USED, CLEANED AND CONDITIONED IN STRICT ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE.
- ALL DIMENSIONS ARE TO BE ROUGH FRAMING UNLESS NOTED.
- CEILING HEIGHT DIMENSIONS ARE FROM SUBFLOOR TO ROUGH FRAME.



TITLE	#	LABEL
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FLOOR PLAN	7	D-4
WORKING FLOOR PLAN	8	D-5
STRUCTURAL FLOOR PLAN	9	D-6
DIMENSIONS PLAN	10	D-7
FOUNDATION PLAN	11	D-8
ELEVATIONS	12	D-9
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ROOF FRAMING PLAN	14	D-11
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HVAC/ GAS LINE/ PLAN	16	D-13
BUILDING SECTIONS	17	D-14
FIRE SAFETY PLAN	18	F-1
FIRE SPRINKLER PLAN	19	F-2
DESIGN DETAILS-1	20	DD-1
STRUCTURAL DETAILS-1	21	S-1
STRUCTURAL DETAILS-2	22	S-2
GENERAL NOTES	23	N-1
TITLE 24/ENERGY CALCS	24	N-2
TITLE 24/ENERGY CALCS-2	25	N-3
CALIFORNIA GREEN NOTES	26	N-4

TITLE	#	LABEL
TITLE SHEET	1	T-1
TABLE OF CONTENT (ENLARGED)	2	T-2
SITE PLAN	3	D-1
SITE PLAN/ TOPOGRAPHY	4	D-2
GRADING/DRAINAGE/ STORMWATER/ PLAN	5	D-3
LANDSCAPE PLAN	6	L-1
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FOUNDATION PLAN	11	D-8
ELEVATIONS	12	D-9
ROOF PLAN	13	D-10
ROOF FRAMING PLAN	14	D-11
MECHANICAL PLAN	15	D-12
HVAC/ GAS LINE/ PLAN	16	D-13
BUILDING SECTIONS	17	D-14
FIRE SAFETY PLAN	18	F-1
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TITLE 24/ENERGY CALCS	24	N-2
TITLE 24/ENERGY CALCS-2	25	N-3
CALIFORNIA GREEN NOTES	26	N-4

TITLE SHEET

PROJECT DATA

3/13/24

PROJECT DESCRIPTION:
CONSTRUCTION OF A COMMERCIAL
BUILDING. (OFFICE / WAREHOUSE)

PROJECT ADDRESS: 4625 PACIFIC ST. ROCKLIN CA 95677
ASSESSOR'S PARCEL NUMBER: 010-030-008-000
ZONING: COMMERCIAL C-3
OCCUPANCY CLASSIFICATION: PERMITTED COMMERCIAL
DESCRIPTION OF USE: OFFICE/ WAREHOUSE
CONSTRUCTION TYPE: V-B
STORIES: ONE
SPRINKLERS: YES

FLOOR PLAN TABULATIONS:

OFFICE FLOOR SQUARE FOOTAGE : 4851SQ. FT.
WAREHOUSE FLOOR SQUARE FOOTAGE : 4625 SQ. FT.
TOTAL FLOOR SQUARE FOOTAGE : 9476 SQ. FT.

PROPERTY TABULATIONS:

LOT AREA: .64 ACRES
LOT SQUARE FOOTAGE: 27,972 SQUARE FEET
STRUCTURE IMPERVIOUS SURFACE AREA: 9,476 SQ. FT.
PARKING LOT IMPERVIOUS SURFACE AREA: 11,476 SQ. FT.
SIDEWALK IMPERVIOUS SURFACE AREA: 1852 SQ. FT.
TOTAL IMPERVIOUS SURFACE AREA: 22,804 SQ. FT.

TOTAL BIORETENTION AREA: 742 SQ. FT.
TOTAL BIORETENTION PIT AREA: 758 SQ. FT.
TOTAL PERVIOUS INFILTRATION AREA: 742 SQ. FT.
REMAINING PERVIOUS AREA : 711 SQ. FT.

ON SITE PARKING: 4 - GARAGE SPACES
23-SPACES
27-TOTAL SPACES

MINIMUM SETBACKS:

FRONT: 5 FT.
REAR: 5 FT.
SIDES: 10 FT.
MAXIMUM ROOF HEIGHT : = 30'

PROJECT PRINCIPALS

3/13/24

OWNER

LOVELAND PROPERTIES
1715 NEWCASTLE RD. CA 95658
(916) 203-9005 jloveland@lovelandroofing.org

DESIGNER

DESIGNS BY FOSTER
DON FOSTER / PHONE # (530) 559-2684
21946 ANGELI PL GRASS VALLEY CA. 95949
EMAIL : designsbydonfoster@gmail.com

STRUCTURAL ENGINEER

BTS ENGINEERING
BRIAN T. SUTLIFF/
PHONE # (916) 96-0370
EMAIL : brian.sutliff@sbcglobal.net

FIRE SPRINKLER DESIGN

ACCURATE FIRE PROTECTION
JOEL MYERS / PHONE # (916) 381-4101
8980 BRADSHAW RD ELK GROVE CA. 95624
EMAIL : jmyers@accuratefire.net

TITLE 24

RESIDENTIAL COMMERCIAL ENERGY ENGINEERING
RESCOM/ PHONE # (916) 373-1383 (888) 372-2263
3166 SUISUN BAY RD WEST SACRAMENTO CA. 95691
EMAIL : Larry@Rescomee.com

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LANDSCAPE PLAN	6	L-1
FLOOR PLAN	7	D-4
WORKING FLOOR PLAN	8	D-5
STRUCTURAL FLOOR PLAN	9	D-6
DIMENSIONS PLAN	10	D-7
FOUNDATION PLAN	11	D-8
ELEVATIONS	12	D-9
ROOF PLAN	13	D-10
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TITLE 24/ENERGY CALCS	24	N-2
TITLE 24/ENERGY CALCS-2	25	N-3
CALIFORNIA GREEN NOTES	26	N-4

SHEET: 2

T-2

LOVELAND PROPERTIES
4625 PACIFIC ST.
ROCKLIN CA 95677
APN 010-030-008-000

DRAWINGS PROVIDED BY:
DESIGNS BY FOSTER
DON FOSTER / PHONE # (530) 559-2684
21946 ANGELI PL GRASS VALLEY CA. 95949
EMAIL : designsbydonfoster@gmail.com

TABLE OF CONTENT (ENLARGED)

PERMIT #
??????????

SCALE:

DATE:
3/13/24

SHEET: 2

T-2

TITLE	#	LABEL
TITLE SHEET	1	T-1
TABLE OF CONTENT (ENLARGED)	2	T-2
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TITLE 24/ENERGY CALCS	24	N-2
TITLE 24/ENERGY CALCS-2	25	N-3
CALIFORNIA GREEN NOTES	26	N-4

SITE PLAN & GRADING NOTES 3/13/24

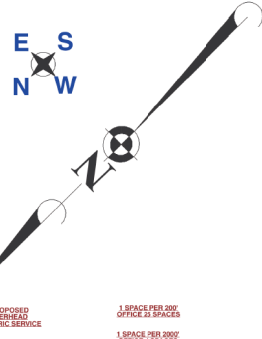
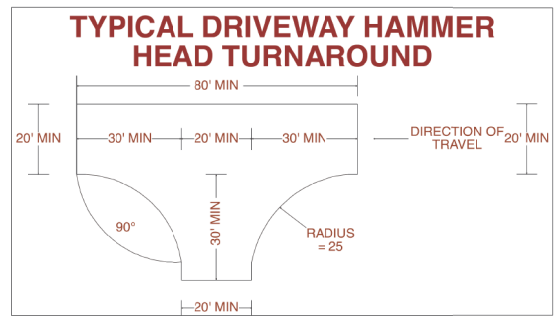
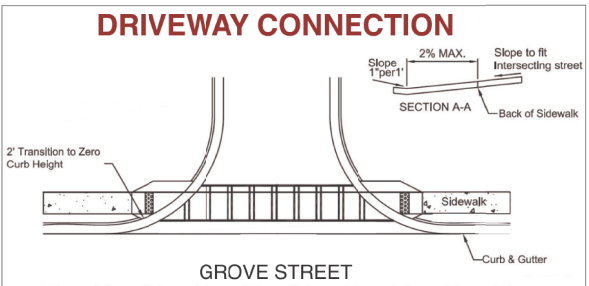
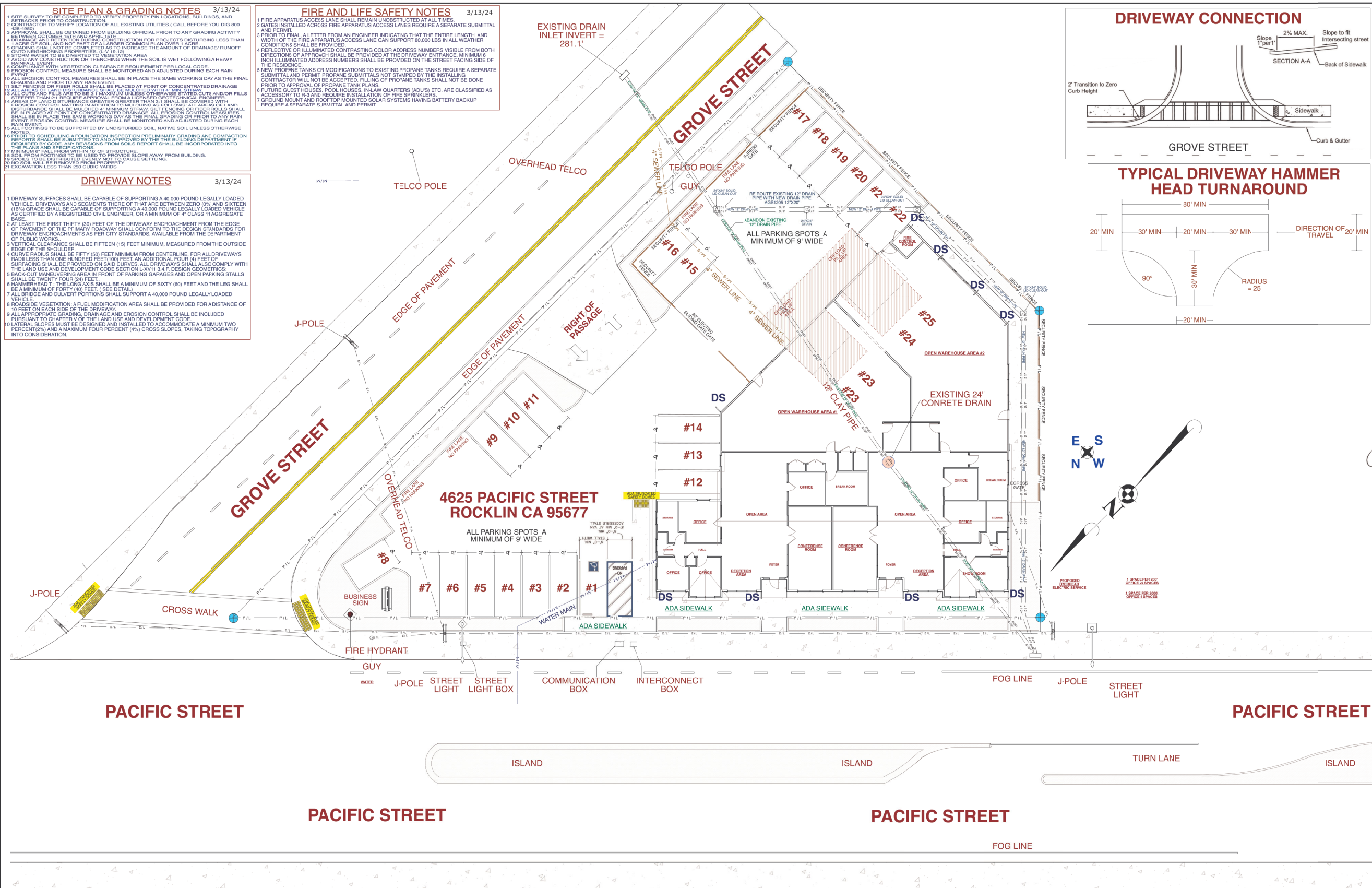
- 1 SITE SURVEY TO BE COMPLETED TO VERIFY PROPERTY PIN LOCATIONS, BUILDINGS AND SETBACKS PRIOR TO CONSTRUCTION.
- 2 CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES, CALL BEFORE YOU DIG 800 451-7234.
- 3 APPROVAL SHALL BE OBTAINED FROM BUILDING OFFICIAL PRIOR TO ANY GRADING ACTIVITY.
- 4 DRAINAGE AND RETENTION DURING CONSTRUCTION FOR PROJECTS DISTURBING LESS THAN 1 ACRE OF SOIL AND NOT PART OF A LARGER COMMON PLAN COVER 1 ACRE.
- 5 GRADING SHALL NOT BE COMPLETED AS TO INCREASE THE AMOUNT OF DRAINAGE/RUNOFF ONTO NEIGHBORING PROPERTY (S.V. 18.12).
- 6 STORM WATER TO BE DIVERTED TO VEGETATION AREA.
- 7 ANY CONSTRUCTION OR TRUCKING WHEN THE SOIL IS WET FOLLOWING A HEAVY RAIN EVENT SHALL BE PROHIBITED.
- 8 COMPLIANCE WITH VEGETATION CLEARANCE REQUIREMENT PER LOCAL CODE.
- 9 EROSION CONTROL MEASURE SHALL BE MONITORED AND ADJUSTED DURING EACH RAIN EVENT.
- 10 ALL EROSION CONTROL MEASURES SHALL BE IN PLACE THE SAME WORKING DAY AS THE FINAL GRADING AND PRIOR TO ANY RAIN EVENT.
- 11 SILT FENCING OR FIBER ROLLS SHALL BE PLACED AT POINT OF CONCENTRATED DRAINAGE.
- 12 ALL AREAS OF LAND DISTURBANCE SHALL BE MULCHED WITH 4" MIN STRAW.
- 13 ALL CUTS AND FILLS ARE TO BE 2:1 MAXIMUM UNLESS OTHERWISE STATED CUTS AND/OR FILLS STEEPER THAN 2:1 REQUIRE APPROVAL FROM A LICENSED GEOTECHNICAL ENGINEER.
- 14 AREAS OF LAND DISTURBANCE GREATER THAN 3:1 SHALL BE COVERED WITH EROSION CONTROL MATTING IN ADDITION TO MULCHING AS FOLLOWS: ALL AREAS OF LAND DISTURBANCE SHALL BE MULCHED 4" MINIMUM STRAW. SILT FENCING OR FIBER ROLLS SHALL BE PLACED AT POINT OF CONCENTRATED DRAINAGE. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE THE SAME WORKING DAY AS THE FINAL GRADING OR PRIOR TO ANY RAIN EVENT. EROSION CONTROL MEASURE SHALL BE MONITORED AND ADJUSTED DURING EACH RAIN EVENT.
- 15 ALL FOOTINGS TO BE SUPPORTED BY UNDISTURBED SOIL, NATIVE SOIL UNLESS OTHERWISE NOTED.
- 16 PRIOR TO SCHEDULING A FOUNDATION INSPECTION PRELIMINARY GRADING AND COMPACTION REPORTS SHALL BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT IF REQUIRED BY CODE. ANY REVISIONS FROM SOILS REPORT SHALL BE INCORPORATED INTO THE PLANS AND SPECIFICATIONS.
- 17 MINIMUM 4" FILL FROM WITHIN 10' OF STRUCTURE.
- 18 SOIL FROM FOOTINGS TO BE USED TO PROVIDE SLOPE AWAY FROM BUILDING.
- 19 NO SOIL TO BE DISTRIBUTED TO PUBLICLY NOT TO CAUSE SETTLEMENTS.
- 20 NO SOIL WILL BE REMOVED FROM PROPERTY.
- 21 EXCAVATION LESS THAN 250 CUBIC YARDS.

DRIVEWAY NOTES 3/13/24

- 1 DRIVEWAY SURFACES SHALL BE CAPABLE OF SUPPORTING A 40,000 POUND LEGALLY LOADED VEHICLE. DRIVEWAYS AND SEGMENTS THERE OF THAT ARE BETWEEN ZERO (0%) AND SIXTEEN (16%) GRADE SHALL BE CAPABLE OF SUPPORTING A 40,000 POUND LEGALLY LOADED VEHICLE AS CERTIFIED BY A REGISTERED CIVIL ENGINEER, OR A MINIMUM OF 4" CLASS 11 AGGREGATE BASE.
- 2 AT LEAST THE FIRST THIRTY (30) FEET OF THE DRIVEWAY ENCROACHMENT FROM THE EDGE OF PAVEMENT OF THE PRIMARY ROADWAY SHALL CONFORM TO THE DESIGN STANDARDS FOR DRIVEWAY ENCROACHMENTS AS PER CITY STANDARDS, AVAILABLE FROM THE DEPARTMENT OF PUBLIC WORKS.
- 3 VERTICAL CLEARANCE SHALL BE FIFTEEN (15) FEET MINIMUM, MEASURED FROM THE OUTSIDE EDGE OF THE SHOULDER.
- 4 CURVE RADIUS SHALL BE FIFTY (50) FEET MINIMUM FROM CENTERLINE. FOR ALL DRIVEWAYS RADIUS LESS THAN ONE HUNDRED FEET (100) FEET AN ADDITIONAL FOUR (4) FEET OF SURFACING SHALL BE PROVIDED ON SAID CURVES. ALL DRIVEWAYS SHALL ALSO COMPLY WITH THE LAND USE AND DEVELOPMENT CODE SECTION L.XV.11 3.4.F. DESIGN GEOMETRICS.
- 5 BACK-OUT MANEUVERING AREA IN FRONT OF PARKING GARAGES AND OPEN PARKING STALLS SHALL BE TWENTY FOUR (24) FEET.
- 6 HAMMERHEAD: THE LONG AXIS SHALL BE A MINIMUM OF SIXTY (60) FEET AND THE LEG SHALL BE A MINIMUM OF FORTY (40) FEET. (SEE DETAIL).
- 7 ALL BRIDGE AND CULVERT PORTIONS SHALL SUPPORT A 40,000 POUND LEGALLY LOADED VEHICLE.
- 8 ROADSIDE VEGETATION: A FUEL MODIFICATION AREA SHALL BE PROVIDED FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE DRIVEWAY.
- 9 ALL APPROPRIATE GRADING, DRAINAGE AND EROSION CONTROL SHALL BE INCLUDED PURSUANT TO CHAPTER 7 OF THE LAND USE AND DEVELOPMENT CODE.
- 10 LATERAL SLOPES MUST BE DESIGNED AND INSTALLED TO ACCOMMODATE A MINIMUM TWO PERCENT (2%) AND A MAXIMUM FOUR PERCENT (4%) CROSS SLOPES, TAKING TOPOGRAPHY INTO CONSIDERATION.

FIRE AND LIFE SAFETY NOTES 3/13/24

- 1 FIRE APPARATUS ACCESS LANE SHALL REMAIN UNOBSTRUCTED AT ALL TIMES.
- 2 GATES INSTALLED ACROSS FIRE APPARATUS ACCESS LANES REQUIRE A SEPARATE SUBMITTAL AND PERMIT.
- 3 PRIOR TO FINAL, A LETTER FROM AN ENGINEER INDICATING THAT THE ENTIRE LENGTH AND WIDTH OF THE FIRE APPARATUS ACCESS LANE CAN SUPPORT 80,000 LBS IN ALL WEATHER CONDITIONS SHALL BE PROVIDED.
- 4 REFLECTIVE OR ILLUMINATED CONTRASTING COLOR ADDRESS NUMBERS VISIBLE FROM BOTH DIRECTIONS OF APPROACH SHALL BE PROVIDED AT THE DRIVEWAY ENTRANCE. MINIMUM 8 INCH ILLUMINATED ADDRESS NUMBERS SHALL BE PROVIDED ON THE STREET FACING SIDE OF THE RESIDENCE.
- 5 NEW PROPANE TANKS OR MODIFICATIONS TO EXISTING PROPANE TANKS REQUIRE A SEPARATE SUBMITTAL AND PERMIT. PROPANE TANKS NOT STAMPED BY THE INSTALLING CONTRACTOR WILL NOT BE ACCEPTED. FILLING OF PROPANE TANKS SHALL NOT BE DONE PRIOR TO APPROVAL OF PROPANE TANK PLANS.
- 6 FUTURE GUEST HOUSES, POOL HOUSES, IN-LAW QUARTERS (ADU'S) ETC. ARE CLASSIFIED AS ACCESSORY TO RESIDENCE AND REQUIRE INSTALLATION OF FIRE SPRINKLERS.
- 7 GROUND MOUNT AND ROOF TOP MOUNTED SOLAR SYSTEMS HAVING BATTERY BACKUP REQUIRE A SEPARATE SUBMITTAL AND PERMIT.



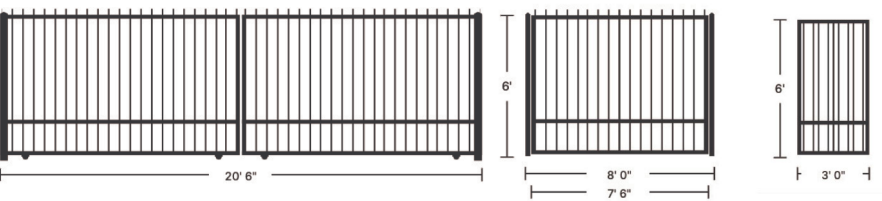
PACIFIC STREET

PACIFIC STREET

PACIFIC STREET

PACIFIC STREET

FOG LINE

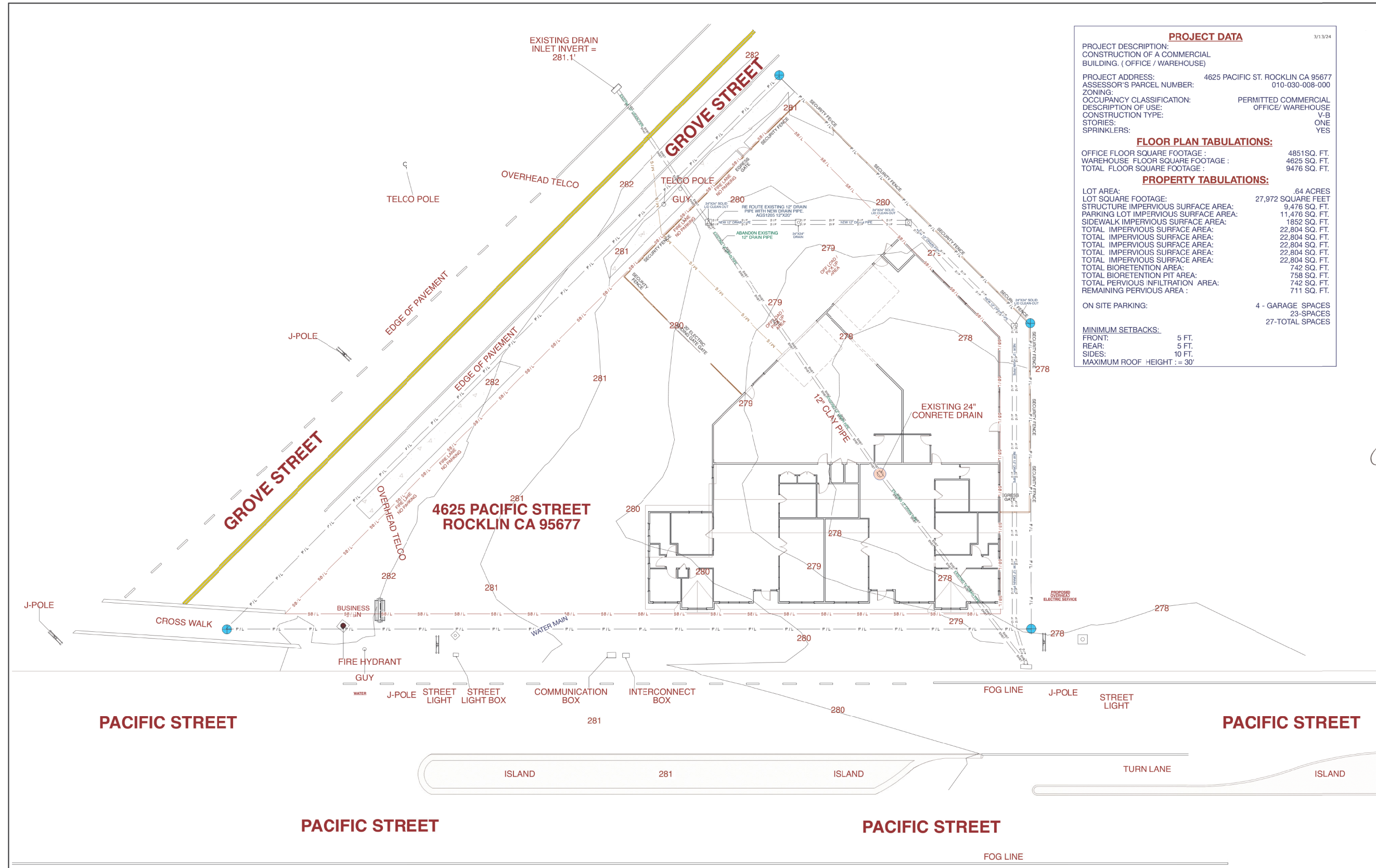


SITE PLAN
SCALE-(1"=30')

SITE LIGHTING				
IMAGE REFERENCE	MANUFACTURER	MODEL	DESCRIPTION	MOUNTING
	LUMARK	PREVAL	PARKING LIGHTING - SINGLE OR DOUBLE HEADED - 26" X 14" HEAD	POLE - 20 FT A.F.F.
	PERFORMANCE IN LIGHTING	SHIELD+1 TYPE III	WALL SCONCE - 8" X 9"	WALL MOUNTED - 7 FT A.F.F.
	PERFORMANCE IN LIGHTING	BLIZ ROUND 30 HF	UNDER CANOPY LIGHTING @ CARPORTS - 12" DIAMETER	SURFACE MOUNT - 8 FT A.F.F.
	WAG LIGHTING	VEGA	WALL SCONCE - UNIT ENTRY LIGHT - 6" X 6"	WALL MOUNTED - 7 FT A.F.F.



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GRADING/DRAINAGE	4	D-2
STORMWATER PLAN	5	D-3
LANDSCAPE PLAN	6	L-1
FLOOR PLAN	7	D-4
WORKING FLOOR PLAN	8	D-5
STRUCTURAL FLOOR PLAN	9	D-6
DIMENSIONS PLAN	10	D-7
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HVAC/ GAS LINE PLAN	16	D-13
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GENERAL NOTES	23	N-1
TITLE 24 ENERGY CALCS-1	24	N-2
TITLE 24 ENERGY CALCS-2	25	N-3
CALIFORNIA GREEN NOTES	26	N-4



PROJECT DATA		3/13/24
PROJECT DESCRIPTION: CONSTRUCTION OF A COMMERCIAL BUILDING. (OFFICE / WAREHOUSE)		
PROJECT ADDRESS:	4625 PACIFIC ST. ROCKLIN CA 95677	
ASSESSOR'S PARCEL NUMBER:	010-030-008-000	
ZONING:	PERMITTED COMMERCIAL	
OCCUPANCY CLASSIFICATION:	OFFICE/ WAREHOUSE	
DESCRIPTION OF USE:	V-B	
CONSTRUCTION TYPE:	ONE	
STORIES:	YES	
SPRINKLERS:	YES	
FLOOR PLAN TABULATIONS:		
OFFICE FLOOR SQUARE FOOTAGE :	4851 SQ. FT.	
WAREHOUSE FLOOR SQUARE FOOTAGE :	4625 SQ. FT.	
TOTAL FLOOR SQUARE FOOTAGE :	9476 SQ. FT.	
PROPERTY TABULATIONS:		
LOT AREA:	64 ACRES	
LOT SQUARE FOOTAGE:	27,972 SQUARE FEET	
STRUCTURE IMPERVIOUS SURFACE AREA:	9,476 SQ. FT.	
PARKING LOT IMPERVIOUS SURFACE AREA:	11,476 SQ. FT.	
SIDEWALK IMPERVIOUS SURFACE AREA:	1852 SQ. FT.	
TOTAL IMPERVIOUS SURFACE AREA:	22,804 SQ. FT.	
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TOTAL IMPERVIOUS SURFACE AREA:	22,804 SQ. FT.	
TOTAL BIoretention AREA:	742 SQ. FT.	
TOTAL BIoretention PIT AREA:	758 SQ. FT.	
TOTAL PERVIOUS INFILTRATION AREA:	742 SQ. FT.	
REMAINING PERVIOUS AREA :	711 SQ. FT.	
ON SITE PARKING:		
	4 - GARAGE SPACES	
	23-SPACES	
	27-TOTAL SPACES	
MINIMUM SETBACKS:		
FRONT:	5 FT.	
REAR:	5 FT.	
SIDES:	10 FT.	
MAXIMUM ROOF HEIGHT :	= 30'	

SHEET: 4

D-2

LOVELAND PROPERTIES
 4625 PACIFIC ST.
 ROCKLIN CA 95677
 APN 010-030-008-000

DRAWINGS PROVIDED BY:
 DESIGNS BY FOSTER
 GRASS VALLEY CA 95949
 dfo@designbyfo.com
 (530) 559-2684

SITE PLAN/ TOPOGRAPHY

PERMIT #
????????

SCALE:

DATE:
3/13/24

SHEET: 4

D-2

PROJECT PRINCIPALS

OWNER

LOVELAND PROPERTIES
 1715 NEWCASTLE RD. CA 95658
 (916) 203-9005 jloveland@lovelandroofing.org

DESIGNER

DESIGNS BY FOSTER
 DON FOSTER / PHONE # (530) 559-2684
 21946 ANGELI PL GRASS VALLEY CA. 95949
 EMAIL : designdbydonfo@gmail.com

FIRE SPRINKLER DESIGN

ACCURATE FIRE PROTECTION
 JOEL MYERS / PHONE # (916) 381-4101
 8980 BRADSHAW RD ELK GROVE CA. 95624
 EMAIL : jmyers@accuratefire.net

STRUCTURAL ENGINEER

BTS ENGINEERING
 BRIAN T. SUTLIFF/
 PHONE # (916) 96-0370
 EMAIL : brian.sutliff@sbcglobal.net

TITLE 24

RESIDENTIAL COMMERCIAL ENERGY ENGINEERING
 RESCOM/ PHONE # (916) 373-1383 (888) 372-2263
 3166 SUISUN BAY RD WEST SACRAMENTO CA. 95691
 EMAIL : Larry@Rescomee.com

SITE PLAN/ (TOPOGRAGHY)
 SCALE-(1"= 10')

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PROJECT DATA

3/13/24

PROJECT DESCRIPTION:
CONSTRUCTION OF A COMMERCIAL BUILDING. (OFFICE / WAREHOUSE)

PROJECT ADDRESS: 4625 PACIFIC ST. ROCKLIN CA 95677
ASSESSOR'S PARCEL NUMBER: 010-030-008-000
ZONING: PERMITTED COMMERCIAL OFFICE/ WAREHOUSE
OCCUPANCY CLASSIFICATION:
DESCRIPTION OF USE:
CONSTRUCTION TYPE: Y-B ONE YES
SPRINKLERS:

FLOOR PLAN TABULATIONS:

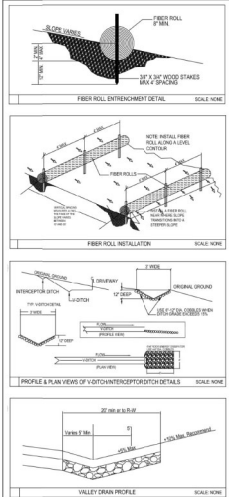
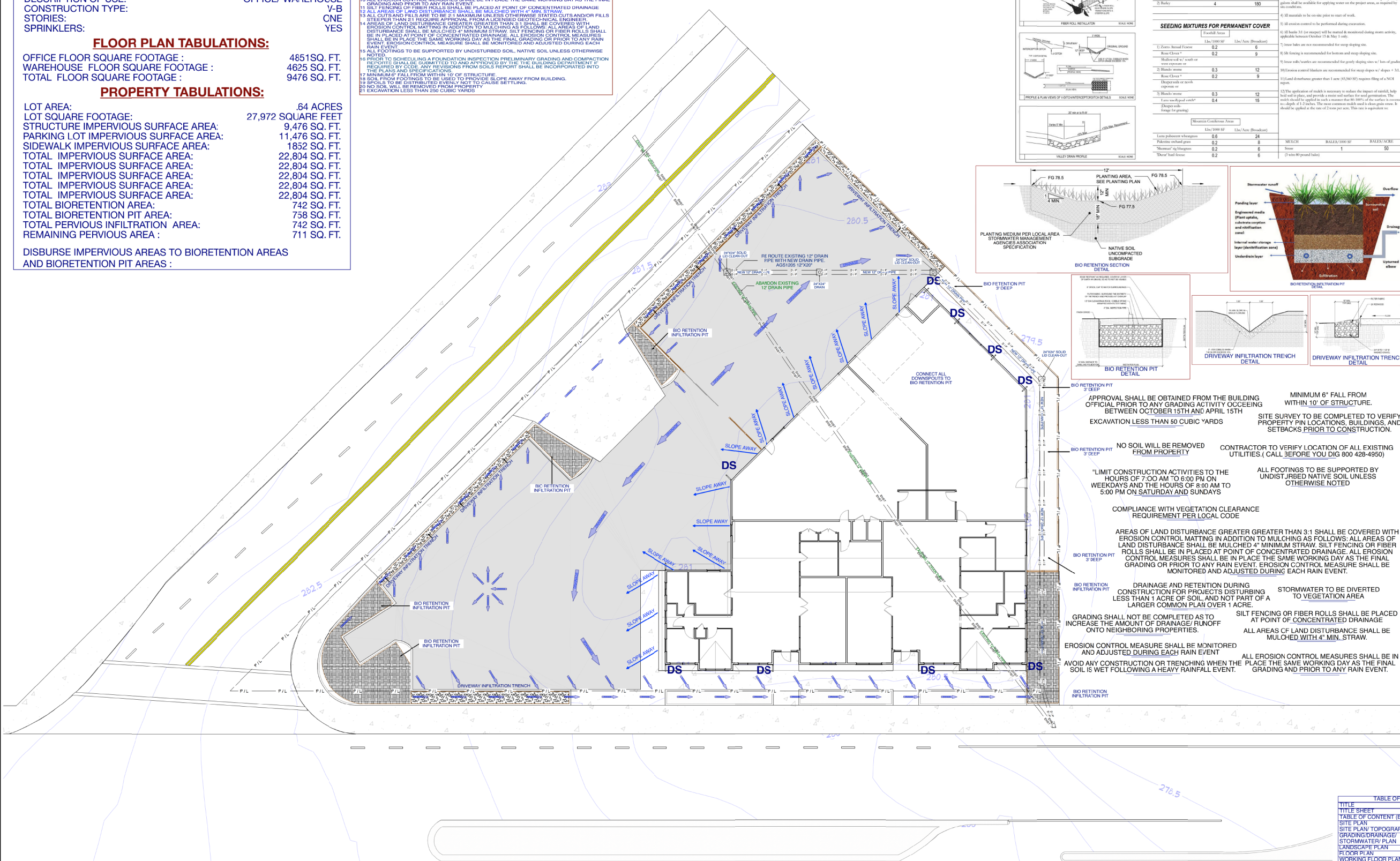
OFFICE FLOOR SQUARE FOOTAGE : 4851 SQ. FT.
WAREHOUSE FLOOR SQUARE FOOTAGE : 4625 SQ. FT.
TOTAL FLOOR SQUARE FOOTAGE : 9476 SQ. FT.

PROPERTY TABULATIONS:

LOT AREA: 64 ACRES
LOT SQUARE FOOTAGE: 27,972 SQUARE FEET
STRUCTURE IMPERVIOUS SURFACE AREA: 9,476 SQ. FT.
PARKING LOT IMPERVIOUS SURFACE AREA: 11,476 SQ. FT.
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TOTAL BIORETENTION AREA: 742 SQ. FT.
TOTAL BIORETENTION PIT AREA: 758 SQ. FT.
TOTAL PERVIOUS INFILTRATION AREA: 742 SQ. FT.
REMAINING PERVIOUS AREA : 711 SQ. FT.
DISBURSE IMPERVIOUS AREAS TO BIORETENTION AREAS AND BIORETENTION PIT AREAS :

SITE PLAN & GRADING NOTES 3/13/24

- 1 SITE SURVEY TO BE COMPLETED TO VERIFY PROPERTY PIN LOCATIONS, BUILDINGS, AND SETBACKS PRIOR TO CONSTRUCTION.
2 CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES; CALL BEFORE YOU DIG 800 428-4950
3 APPROVAL SHALL BE OBTAINED FROM BUILDING OFFICIAL PRIOR TO ANY GRADING ACTIVITY BETWEEN OCTOBER 15TH AND APRIL 15TH
4 DRAINAGE AND RETENTION DURING CONSTRUCTION FOR PROJECTS DISTURBING LESS THAN 1 ACRE OF SOIL, SHALL NOT BE PART OF A LARGER COMMON PLAN OVER 1 ACRE
5 GRADING SHALL NOT BE COMPLETED AS TO INCREASE THE AMOUNT OF DRAINAGE/ RUNOFF ONTO NEIGHBORING PROPERTIES. (C-1) 15 120
6 STORM WATER TO BE DIVERTED TO VEGETATION AREA
7 AVOID ANY CONSTRUCTION OR TRENCHING WHEN THE SOIL IS WET FOLLOWING A HEAVY RAINFALL EVENT
8 COMPLIANCE WITH VEGETATION CLEARANCE REQUIREMENT PER LOCAL CODE
9 EROSION CONTROL MEASURES SHALL BE MONITORED AND ADJUSTED DURING EACH RAIN EVENT
10 ALL EROSION CONTROL MEASURES SHALL BE IN PLACE THE SAME WORKING DAY AS THE FINAL GRADING AND PRIOR TO ANY RAIN EVENT
11 SILT FENCING OR FIBER ROLLS SHALL BE PLACED AT POINT OF CONCENTRATED DRAINAGE
12 ALL AREAS OF LAND DISTURBANCE SHALL BE MULCHED WITH 4" MIN. STRAW
13 ALL CUTS AND FILLS ARE TO BE 2:1 MAXIMUM UNLESS OTHERWISE STATED CUTS AND/OR FILLS STEEPER THAN 2:1 REQUIRE APPROVAL FROM A LICENSED GEOTECHNICAL ENGINEER
14 AREAS OF LAND DISTURBANCE GREATER THAN 3:1 SHALL BE COVERED WITH EROSION CONTROL MATTING IN ADDITION TO MULCHING AS FOLLOWS: ALL AREAS OF LAND DISTURBANCE GREATER THAN 3:1 SHALL BE COVERED WITH EROSION CONTROL MATTING IN ADDITION TO MULCHING AS FOLLOWS: ALL AREAS OF LAND DISTURBANCE GREATER THAN 3:1 SHALL BE COVERED WITH EROSION CONTROL MEASURES SHALL BE IN PLACE THE SAME WORKING DAY AS THE FINAL GRADING OR PRIOR TO ANY RAIN EVENT. EROSION CONTROL MEASURE SHALL BE MONITORED AND ADJUSTED DURING EACH RAIN EVENT.
15 ALL FOOTINGS TO BE SUPPORTED BY UNDISTURBED SOIL, NATIVE SOIL UNLESS OTHERWISE NOTED
16 PRIOR TO SCHEDULING A FOUNDATION INSPECTION PRELIMINARY GRADING AND COMPACTION REPORTS SHALL BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT IF REQUIRED BY CODE. ANY REVISIONS FROM SOILS REPORT SHALL BE INCORPORATED INTO THE PLANS AND SPECIFICATIONS.
17 MINIMUM 6" FALL FROM WITHIN 10' OF STRUCTURE
18 SOIL FROM FOOTINGS TO BE USED TO PROVIDE SLOPE AWAY FROM BUILDING.
19 SPOILS TO BE DISTRIBUTED EVENLY NOT TO CAUSE SETTLING.
20 NO SOIL WILL BE REMOVED FROM PROPERTY
21 EXCAVATION LESS THAN 50 CUBIC YARDS



PERMANENT EROSION & SEDIMENT CONTROL NOTES

SEEDING MIXTURES FOR TEMPORARY COVER

Footfall Areas	Lib/1000 SF	Lib/ Acre (Breakout)
1 Annual Forc*	1	24
2 Biya Forc*	4	150

SEEDING MIXTURES FOR PERMANENT COVER

Footfall Areas	Lib/1000 SF	Lib/ Acre (Breakout)
1 Zone Annual Forc*	0.2	6
2 Zone Annual Forc*	0.2	6
3 Bioma Forc*	0.3	12
4 Bioma Forc*	0.2	9
5 Bioma Forc*	0.3	12
6 Bioma Forc*	0.4	15

FERTILIZER - MULCH

Lib/1000 SF	Lib/ Acre (Breakout)	
1 Annual Forc*	1	24
2 Biya Forc*	4	150

SHEET: 5

D-3

LOVELAND PROPERTIES
4625 PACIFIC ST.
ROCKLIN CA 95677
APN 010-030-008-000

DRAWINGS PROVIDED BY:
DESIGNS BY FOSTER
GARRAS VALLEY, CA 95689
designsbyfostr@gmail.com
916.930.5594

GRADING/DRAINAGE/
STORMWATER/ PLAN

PERMIT #
????????

SCALE:

DATE:
3/13/24

SHEET: 5

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GRADING/ DRAINAGE/ STORMWATER PLAN
SCALE-(1"= 10')

PROJECT DATA 3/13/24

PROJECT DESCRIPTION:
CONSTRUCTION OF A COMMERCIAL BUILDING. (OFFICE / WAREHOUSE)

PROJECT ADDRESS: 4625 PACIFIC ST. ROCKLIN CA 95677
ASSESSOR'S PARCEL NUMBER: 010-030-008-000

ZONING: PERMITTED COMMERCIAL OFFICE/ WAREHOUSE
DESCRIPTION OF USE: V-B
CONSTRUCTION TYPE: ONE
STORIES: ONE
SPRINKLERS: YES

FLOOR PLAN TABULATIONS:
OFFICE FLOOR SQUARE FOOTAGE : 4851 SQ. FT.
WAREHOUSE FLOOR SQUARE FOOTAGE : 4625 SQ. FT.
TOTAL FLOOR SQUARE FOOTAGE: 9476 SQ. FT.

PROPERTY TABULATIONS:
LOT AREA: .64 ACRES
LOT SQUARE FOOTAGE: 27,972 SQUARE FEET
STRUCTURE IMPERVIOUS SURFACE AREA: 9,476 SQ. FT.
PARKING LOT IMPERVIOUS SURFACE AREA: 11,476 SQ. FT.
SIDEWALK IMPERVIOUS SURFACE AREA: 1852 SQ. FT.
TOTAL IMPERVIOUS SURFACE AREA: 22,804 SQ. FT.
TOTAL BIOPRETENTION AREA: 742 SQ. FT.
TOTAL IMPERVIOUS SURFACE AREA: 22,804 SQ. FT.
TOTAL BIOPRETENTION AREA: 742 SQ. FT.
TOTAL BIOPRETENTION PIT AREA: 758 SQ. FT.
TOTAL PERVIOUS INFILTRATION AREA: 742 SQ. FT.
REMAINING PERVIOUS AREA : 711 SQ. FT.

ON SITE PARKING: 4 - GARAGE SPACES
23-SPACES
27-TOTAL SPACES

MINIMUM SETBACKS:
FRONT: 5 FT.
REAR: 5 FT.
SIDES: 10 FT.
MAXIMUM ROOF HEIGHT : = 30'

PROJECT PRINCIPALS 3/13/24

OWNER
LOVELAND PROPERTIES
1715 NEWCASTLE RD. CA 95668
(916) 203-9005 loveland@lovelandroofing.org

DESIGNER
DESIGNS BY FOSTER
DON FOSTER / PHONE # (530) 559-2684
21946 ANGELI PL GRASS VALLEY CA. 95949
EMAIL : designsbydonfofoster@gmail.com

STRUCTURAL ENGINEER
BTS ENGINEERING
BRIAN T. SUTLIFF/
PHONE # (916) 96-0370
EMAIL : brian.sutliff@sbcglobal.net

FIRE SPRINKLER DESIGN
ACCURATE FIRE PROTECTION
JOEL MYERS / PHONE # (916) 381-4101
8980 BRADSHAW RD ELK GROVE CA. 95624
EMAIL : jmyers@accuratefire.net

TITLE 24
RESIDENTIAL COMMERCIAL ENERGY ENGINEERING
RESCOM/ PHONE # (916) 373-1383 (888) 372-2263
3166 SUI SUN BAY RD WEST SACRAMENTO CA. 95691
EMAIL : Larry@Rescomee.com

LOVELAND PROJECT SHADE CALCULATIONS

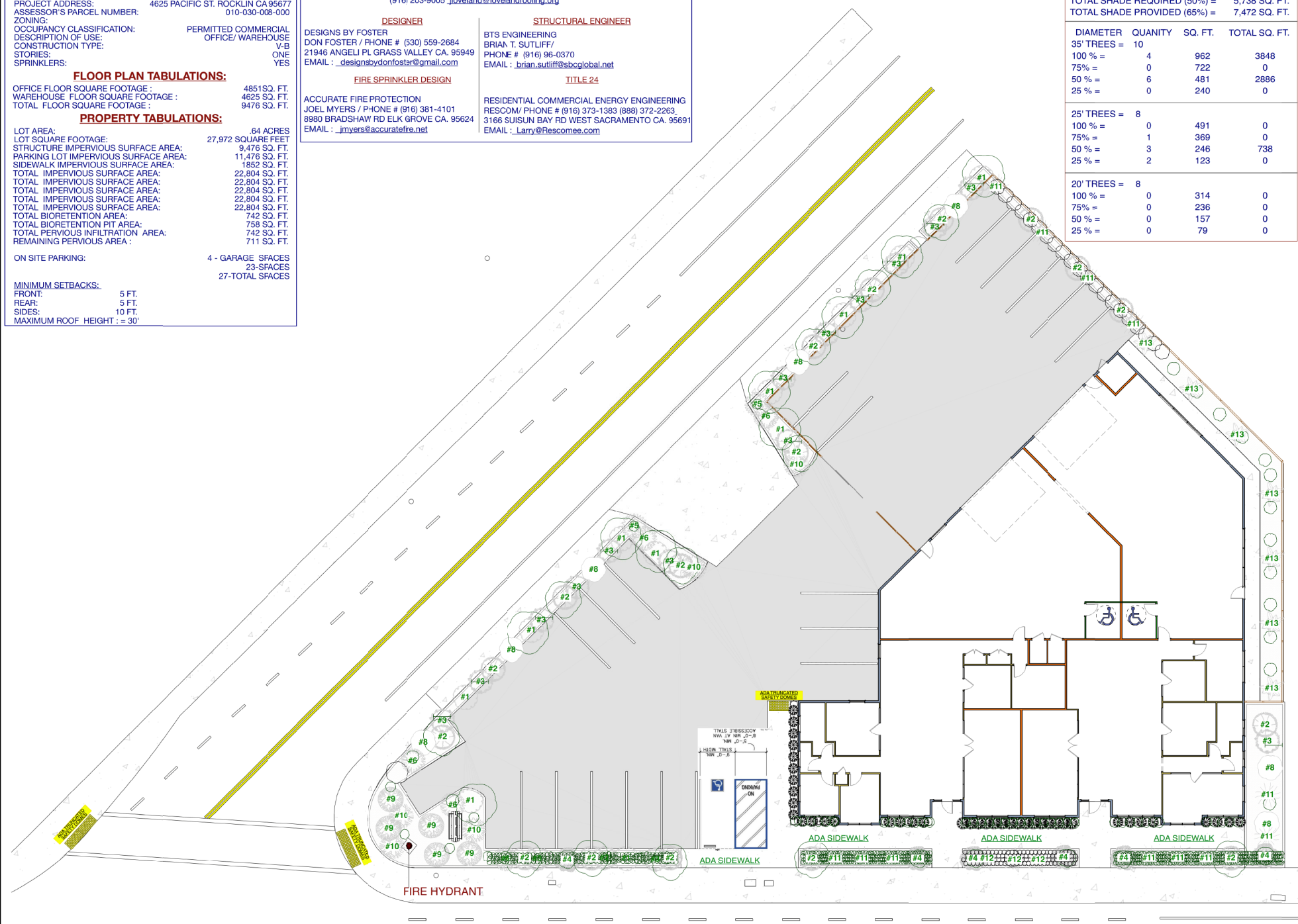
TOTAL PAVED AREA = 11,476 SQ. FT.
TOTAL SHADE REQUIRED (50%) = 5,738 SQ. FT.
TOTAL SHADE PROVIDED (65%) = 7,472 SQ. FT.

DIAMETER	QUANTITY	SQ. FT.	TOTAL SQ. FT.
35' TREES =	10		
100 % =	4	962	3848
75 % =	0	722	0
50 % =	6	481	2886
25 % =	0	240	0
25' TREES =	8		
100 % =	0	491	0
75 % =	1	369	0
50 % =	3	246	738
25 % =	2	123	0
20' TREES =	8		
100 % =	0	314	0
75 % =	0	236	0
50 % =	0	157	0
25 % =	0	79	0

LOVELAND PROJECT PLANT LIST
ZONE 9B- DROUGHT TOLERANT PLANTS

TREE	JACARANDA MIMOSIFOLIA BLUE JACARANDA	
#1	JACARANDA MIMOSIFOLIA BLUE JACARANDA	
TREE	LAGERSTROEMIA INDICA CRAPE MYRTLE	
#2	LAGERSTROEMIA INDICA CRAPE MYRTLE	
TREE	CLEMATIS THE PRESIDENT	
#3	CLEMATIS THE PRESIDENT	
SHRUB	THALICTRUM DELAVAYI CHINESE MEADOW RUE	
#4	THALICTRUM DELAVAYI CHINESE MEADOW RUE	
SHRUB	GYNURA AURANTIACA PURPLE VELVET MINIATURE CRAPE MYRTLE	
#5	GYNURA AURANTIACA PURPLE VELVET MINIATURE CRAPE MYRTLE	
SHRUB	BUDDLEIA DAVIDII BUTTERFLY BUSH	
#6	BUDDLEIA DAVIDII BUTTERFLY BUSH	
SHRUB	PEROVSKIA ATRIPPLICIFOLIA RUSSIAN SAGE	
#7	PEROVSKIA ATRIPPLICIFOLIA RUSSIAN SAGE	
SHRUB	SYRINGA 'JOSEE' JOSEE REBLOOMING LILAC	
#8	SYRINGA 'JOSEE' JOSEE REBLOOMING LILAC	
SHRUB	LAVANDULA X INTEREDIA PROVINCE LAVENDER	
#9	LAVANDULA X INTEREDIA PROVINCE LAVENDER	
GROUND COVER	ALLIUM 'GLADIATOR' GLADIATOR ALLIUM BULBS	
#10	ALLIUM 'GLADIATOR' GLADIATOR ALLIUM BULBS	
GROUND COVER	VERONICASTRUM VIRGINICUM 'CUPID' CUPID CULVERS ROOT PERENNIAL	
#11	VERONICASTRUM VIRGINICUM 'CUPID' CUPID CULVERS ROOT PERENNIAL	
GROUND COVER	SALVIA NEMOROSA 'PLUMOSA' HEATHER (PERENNIAL)	
#12	SALVIA NEMOROSA 'PLUMOSA' HEATHER (PERENNIAL)	
GROUND COVER	AMETHYST TALL PHLOX PERENNIALS	
#13	AMETHYST TALL PHLOX PERENNIALS	

LANDSCAPE PLANS PREPARED BY LYNETTE LOVELAND (916) 207-7455



SHEET: 6

L-1

LOVELAND PROPERTIES
4625 PACIFIC ST.
ROCKLIN CA 95677
APN 010-030-008-000

DRAWINGS PROVIDED BY:
DESIGNS BY FOSTER
GRASS VALLEY CA 95949
designsbydonfofoster@gmail.com
(530) 559-2684

LANDSCAPE PLAN

PERMIT #
??????????

SCALE:

DATE:
3/13/24

SHEET: 6

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LANDSCAPE PLAN

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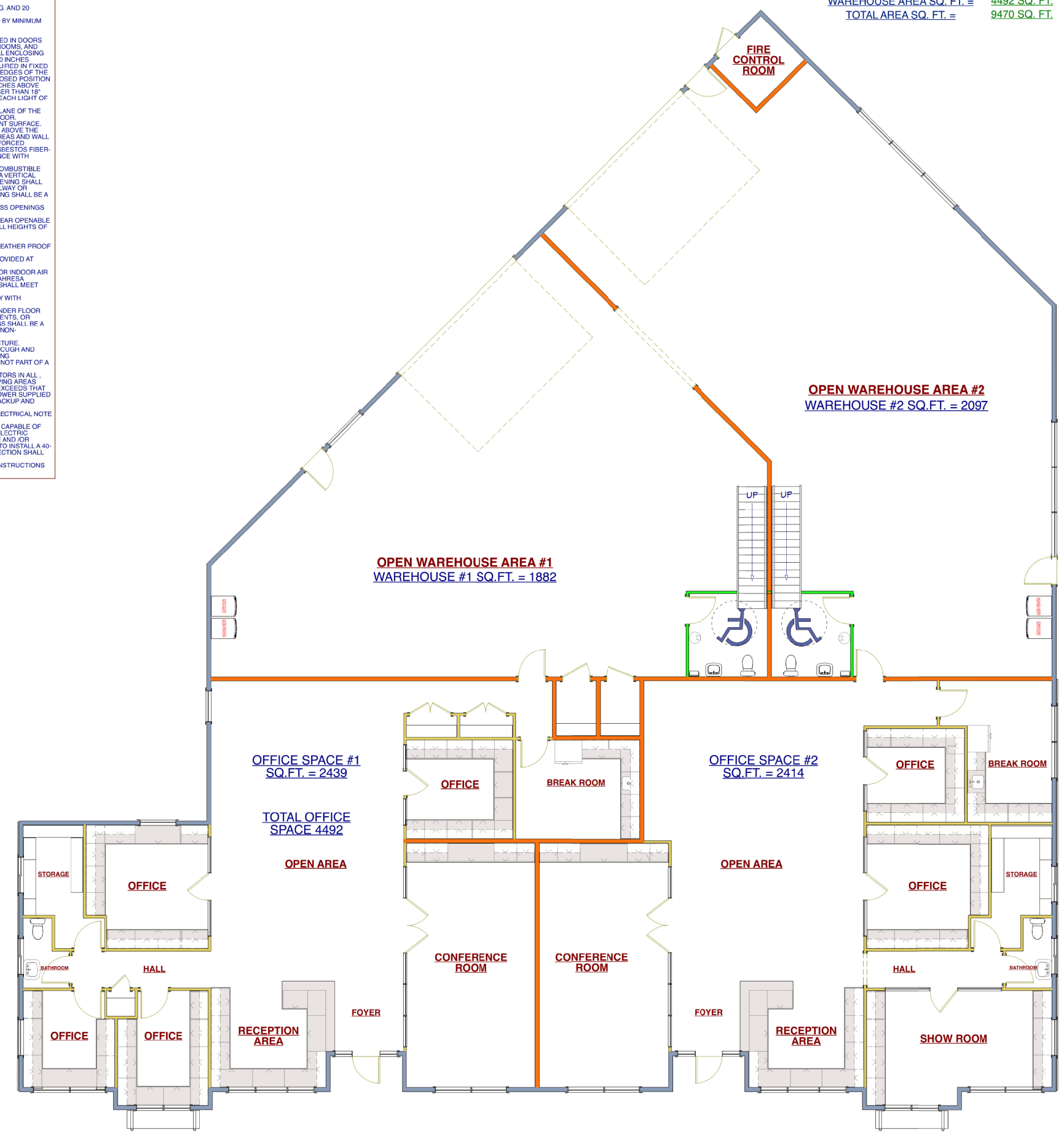
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GENERAL NOTES

3/13/24

- THIS BUILDING HAS AN ENGINEERED AUTOMATIC FIRE SPRINKLER SYSTEM.
- GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT BY 5/8" GYPSUM BOARD APPLIED TO GARAGE SIDE.
- DOORS FROM DWELLING TO GARAGE SHALL BE SELF CLOSING, SELF LATCHING AND 20 MINUTE FIRE RATED.
- USABLE SPACES UNDERNEATH ENCLOSED STAIRWAYS SHALL BE PROTECTED BY MINIMUM 5/8" GYPSUM BOARD.
- DRYWALL NAILING SHALL BE IN ACCORDANCE WITH C.B.C. REQUIREMENTS.
- SAFETY GLAZING OR APPROVED SHATTER RESISTANT MATERIALS ARE REQUIRED IN DOORS AND ENCLOSURES FOR BATHROOMS, HOT TUBS, WHIRLPOOLS SAUNAS, STEAM ROOMS, AND SHOWERS. SAFETY GLAZING IS REQUIRED IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF GLASS IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET. SAFETY GLAZING IS ALSO REQUIRED IN FIXED OR OPENABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGES OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION OR WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE. SAFETY GLAZING IS ALSO REQUIRED FOR GLASS CLOSER THAN 18" ABOVE ADJACENT WALKING SURFACES. A PERMANENT LABEL SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING TEMPERED GLASS.
- SAFETY GLAZING REQUIRED ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24" OF HINGE SIDE OF AN IN-SWING DOOR.
- TUB AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. MATERIALS USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS SHALL BE GLASS MAT GYPSUM PANEL, FIBER-REINFORCED GYPSUM PANELS, NON-ASBESTOS FIBER-CEMENT BACKER BOARD, OR NON-ASBESTOS FIBER-CEMENT REINFORCED CEMENTITIOUS BACKER UNITS INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- ATTIC ACCESS SHALL BE PROVIDED TO ALL ATTIC AREAS (IN BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION) THAT EXCEED 30 SQUARE FEET AND HAVE A VERTICAL HEIGHT OF 30 INCHES (762 MM) OR GREATER. (R907.1) THE ROUGH-FRAMED OPENING SHALL NOT BE LESS THAN 22-INCHES BY 30-INCHES AND SHALL BE LOCATED IN A HALLWAY OR OTHER LOCATION WITH READY ACCESS. WHEN LOCATED IN A WALL, THE OPENING SHALL BE A MINIMUM OF 22-INCHES WIDE BY 30-INCHES HIGH.
- ACCESS OPENINGS SHALL BE PROVIDED TO ALL UNDER-FLOOR SPACES. ACCESS OPENINGS THROUGH THE FLOOR SHALL BE A MINIMUM OF 18-INCHES BY 24-INCHES.
- EMERGENCY EGRESS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM NET CLEAR OPENABLE DIMENSION OF 24 INCHES IN HEIGHT 20 INCHES IN WIDTH IN 5.7 FT² IN AREA. SILL HEIGHTS OF SUCH OPENINGS SHALL NOT EXCEED 44 INCHES ABOVE FLOOR.
- A MINIMUM OF 36" X 36" LANDING AT EACH DOORWAY.
- CAULK ALL DOORS, WINDOWS, JOINTS, AND AREAS REQUIRED TO PROVIDE A WEATHER PROOF SEAL.
- MANUFACTURER SPECIFICATIONS AND INSTALLATION INSTRUCTIONS TO BE PROVIDED AT APPROPRIATE INSPECTION BY CONTRACTOR, SUBCONTRACTOR OR OWNER.
- THIS DWELLING SHALL MEET THE 2019 CALIFORNIA ENERGY REQUIREMENTS FOR INDOOR AIR QUALITY I.Q. INSTALL A CONTINUOUSLY RUNNING BATH AND THAT NEEDS ANSI/ASHRAE STANDARD 62.2. THE SOUND LEVEL CANNOT EXCEED 1.0 SONE, AND THE CFM SHALL MEET TABLE 4-7 OF THE RESIDENTIAL COMPLIANCE MANUAL.
- FOR WILDFIRE EXPOSURE ALL EXTERIOR MATERIALS (ROOFING) SHALL COMPLY WITH REQUIREMENTS OF CRC SECTION R327, CLASS (A) REQUIREMENT.
- VENTILATION OPENINGS FOR ATTICS, GABLES, AND EAVES ABOVE 12FT AND UNDER FLOOR VENTILATION SHALL BE PROVIDED WITH FULLY COVERED METAL WIRE MESH, VENTS, OR OTHER MATERIALS THAT MEET THE FOLLOWING: DIMENSIONS OF THE OPENINGS SHALL BE A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/8". THE VENT MATERIAL SHALL BE NON-COMBUSTIBLE AND CORROSION RESISTANT.
- BUILDING PADS WILL BE GRADED 5% FOR A MINIMUM OF 10' AWAY FROM STRUCTURE.
- PROVIDE EROSION CONTROL PER LOCAL JURISDICTION STANDARDS DURING ROUGH AND FINISH GRADING IF REQUIRED. STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION FOR PROJECTS DISTURBING LESS THAN 1 ACRE OF SOIL, AND NOT PART OF A LARGER COMMON PLAN OVER 1 ACRE.
- PROVIDE A SMOKE DETECTOR ON EACH FLOOR LEVEL. INSTALL SMOKE DETECTORS IN ALL . . . ON THE CEILING, CLOSE TO THE STAIRWAY OF AN UPPER FLOOR WHERE SLEEPING AREAS OCCUR AND IN THE ADJACENT ROOM (OR AREA) WHERE THE CEILING HEIGHT EXCEEDS THAT OF THE HALLWAY BY 24" OR MORE. DETECTORS SHALL HAVE THEIR PRIMARY POWER SUPPLIED FROM BUILDING WIRING. DETECTORS SHALL BE EQUIPPED WITH A BATTERY BACKUP AND ALARM THAT SHALL BE AUDIBLE IN ALL SLEEPING AREAS.
- PROVIDE A SMOKE DETECTOR ON EACH FLOOR LEVEL AND BASEMENT. SEE ELECTRICAL NOTE 25 FOR CARBON MONOXIDE ALARM REQUIREMENTS.
- FOR ELECTRIC VEHICLE CHARGING STATIONS: INSTALL A MINIMUM 1" CONDUIT CAPABLE OF SUPPLYING A 208/240V BRANCH CIRCUIT TO A SUITABLE BOX LOCATION FOR ELECTRIC VEHICLE CHARGING. THE OTHER END SHALL TERMINATE TO THE MAIN SERVICE AND OR SUBPANEL THE MAIN PANEL AND OR SUBPANEL SHALL BE OF SUFFICIENT SIZE TO INSTALL A 40- AMPERE DEDICATED BRANCH CIRCUIT. THE DEDICATED OVER CURRENT PROTECTION SHALL BE LABELED "EV CAPABLE".
- DEFERRED SUBMITTAL: MANUFACTURER SPECIFICATIONS AND INSTALLATION INSTRUCTIONS TO BE PROVIDED AT APPROPRIATE INSPECTION.

OFFICE AREA SQ. FT. = 4978 SQ. FT.
 WAREHOUSE AREA SQ. FT. = 4492 SQ. FT.
 TOTAL AREA SQ. FT. = 9470 SQ. FT.



FLOOR PLAN
 SCALE: (1/4" = 1')

SHEET: 7

D-4

LOVELAND PROPERTIES
 4625 PACIFIC ST.
 ROCKLIN CA 95677
 APN 010-030-008-000

DRAWINGS PROVIDED BY:
 DESIGNS BY FOSTER
 GARAGE WALLLEY, CA 95649
 designsbyfostrer@gmail.com
 (916) 559-5984

FLOOR PLAN

PERMIT #
 ??????????
 ??????????

SCALE:

DATE:
 3/13/24

SHEET: 7

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FRAMING AND STRUCTURAL NOTES 3/13/24

- 1 SHEATH ALL EXTERIOR WALLS WITH 3/8" C.D.X. AND NAIL WITH 8D AT 6" O.C. EDGE NAIL, 12" IN O.C. FIELD NAILED OR AS PER SHEAR WALL SCHEDULE. BLOCK ALL EDGES AS REQUIRED, OR AS SPECIFIED BY ENGINEERING SHEAR WALL SCHEDULE.
- 2 2 AND 4X HORIZONTAL FRAMING IS TO BE D.F. # 2 OR BETTER - U.O.N.
- 3 6X AND 8X HORIZONTAL FRAMING IS TO BE D.F. # 1 OR BETTER - U.O.N.
- 4 ALL POSTS ARE TO BE D.F. # 1 OR BETTER - U.O.N.
- 5 SIMPLE SPAN G.L.U. LAMINATED BEAMS SHALL BE 24 FXV4-DF/DF-U.O.N.
- 6 CANTILEVERED G.L.U. LAMINATED BEAMS SHALL BE 24 FXV4-DF/DF-U.O.N.
- 7 PROVIDE 4X12 D.F. HEADERS IN 2X4 STUD FRAMED WALLS WITH DOUBLE 2X4 TRIMMERS IF OPENINGS ARE 6 FT. OR MORE - VERIFY WITH PLANS.
- 8 PROVIDE 6X12 D.F. HEADERS IN 2X6 STUD FRAMED WALLS WITH DOUBLE 2X6 TRIMMERS IF OPENINGS ARE 6 FT. OR MORE - VERIFY WITH PLANS.
- 9 PROVIDE FULL BEARING SUPPORT FOR ALL BEAMS. I.E. 4X BEAMS ARE TO BE SUPPORTED BY (2) - 2X4 STUDS OR 4X4 POSTS. I.E. 6X AND 8X BEAMS ARE TO BE SUPPORTED BY 6X AND 8X POSTS RESPECTIVELY.
- 10 G.L.U. LAMINATED BEAMS CERTIFICATES WILL BE REQUIRED @ FRAMING INSPECTION.
- 11 PROVIDE BLOCKING BETWEEN ALL FLOOR JOISTS, TRUSSES, AND RAFTERS AT ALL BEARING WALLS, GIRDERS, BEAMS, AND RAFTERS.
- 12 BEARING AND EXTERIOR WALL STUDS ARE TO BE CAPPED WITH DOUBLE TOP PLATE AND INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND INTERSECTIONS WITH OTHER PARTITIONS. END JOINTS AND DOUBLE TOP PLATES SHALL BE OFF SET AT LEAST 48 INCH MINIMUM.
- 13 MINIMUM CLEARANCE BETWEEN BOTTOM OF FLOOR JOIST AND THE GROUND SURFACE SHALL BE 18" MINIMUM. MINIMUM CLEARANCE OF FLOOR GIRDERS TO GROUND SURFACE SHALL BE 12" MINIMUM.
- 14 FIRE BLOCK STUD WALLS AND PARTITIONS (INCLUDING FURRED SPACES) AT FLOOR, CEILING, SOFFITS, AND AT MID HEIGHT IN WALLS OVER 10' IN HEIGHT.
- 15 NOTCHING OF BEARING WALLS SHALL NOT EXCEED 25% OF STUD AND BORED HOLES SHALL NOT EXCEED 40% OF STUD.
- 16 NOTCHING OF NON BEARING WALLS SHALL NOT EXCEED 40% OF STUD AND BORED HOLES SHALL NOT EXCEED 60% OF STUD.
- 17 ALL MEMBERS ARE TO BE FRAMED, ANCHORED, TIED AND BRACED SO AS TO DEVELOP THE STRENGTH AND RIGIDITY NECESSARY FOR THE PURPOSES FOR WHICH THERE USED.
- 18 ALL TOP PLATES OF STUD WALLS SHALL BE A MINIMUM OF 48" LONG AND NAILED WITH (16) 16D AT EACH SIDE OF EACH SPLICE PER CRC R602.3.2 OR BETTER ALL INTERSECTING WALLS NOT AT 90 DEGREES WITH RESPECT TO EACH OTHER, SHALL BE STRAPPED TOGETHER WITH SIMPSON MS-17 STRAPS U.O.N. ALL STRAPS ARE TO BE CENTERED AT SPLICE.
- 19 JOINTS IN DOUBLE TOP PLATE OF STUD WALLS SHALL OCCUR AT THE CENTER LINE.
- 20 PROVIDE POSITIVE TYPE POST TO BEAM CONNECTION WITH SIMPSON HARDWARE I.E. : CCP, BC, AC, PC, L, T, OR EQUIVALENT.
- 21 POST TO BEAM CONNECTIONS POSITIVE CONNECTION SHALL PROVIDED TO ENSURE UPLIFT AND LATERAL DISPLACEMENT (R602.9 & GBC2304.7)
- 22 MINIMUM NAILING REQUIREMENTS SHALL CONFORM TO 2016 C.R.C. TABLE.
- 23 WHERE MULTIPLE 2X JOISTS ARE STITCHED TOGETHER - FOR 20RS - USE (2) - 16D AT 12" O.C. FOR 4 OR MORE - USE (2) - 12" THROUGH JOISTS WITH NUTS AND WASHERS AT 24" O.C.
- 24 SHEATHING USED IN CONSTRUCTION OF SHEAR WALLS TO BE 4'X8' MINIMUM EXCEPT AT BOUNDARIES OR AT CHANGES IN FRAMING WHERE THE MINIMUM WIDTH IS TO 2'.
- 25 FRAMING MEMBERS OR BLOCKING REQUIRED AT ALL PANEL EDGES IN SHEAR WALLS.
- 26 DO NOT BREAK FACE PLY WHEN NAILING ANY SHEAR WALLS.
- 27 MOISTURE CONTENT OF LUMBER NOT TO EXCEED 19% AT THE TIME OF CONSTRUCTION.
- 28 ALL FRAMING MEMBERS USED IN THE CONSTRUCTION OF SHEAR WALLS MUST BE DOUG FIR OR SPF FRAMING UNLESS NOTED ON FRAMING PLANS.

STAIR AND GUARD RAIL NOTES 3/13/24

- 1 STAIRS SHALL COMPLY TO ALL LOCAL CODES AND ORDINANCES. A MINIMUM WIDTH OF 36" FINISH ON ALL STAIRS AND LANDINGS. PROVIDE APPROPRIATE SIMPSON BRACKETS OR HANGERS AT TOP AND BOTTOM OF STAIRS. WHERE STAIRS LAND ON CONCRETE PROVIDE 2X6 PRESSURE TREATED SLEEPER AT BOTTOM W/ 16D SHOTS. STAIRWAYS SHALL HAVE RISERS WITH A MAXIMUM HEIGHT OF 7.3/8" & A MINIMUM OF TREAD DEPTH OF 10". A VARIATION OF NO MORE THAN 3/8" BETWEEN THE LARGEST AND SMALLEST REQUIRED. THE HANDRAIL HEIGHT MEASURED VERTICALLY FROM THE NOSE OF THE TREAD SHALL BE NOT LESS THAN 34" & NOT MORE THAN 38". OPEN HANDRAILS & GUARDRAILS AT STAIRS, LOFTS, BALCONIES AND OPEN SIDED WALKING SURFACES SHALL BE NOT LESS THAN 42" IN HEIGHT WITH GUARDS SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH. HANDRAIL AND GUARD ASSEMBLIES SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS CRC TABLE 301.5. THE MINIMUM HEADROOM NEEDS TO BE 6'8" MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS.
- 2 HANDRAILS MAY PROJECT INTO THE REQUIRED 36" A MAXIMUM DISTANCE OF 3 1/2" FROM EACH SIDE OF STAIRWAY HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL.
- 3 THE HAND GRIP PORTION OF THE CIRCULAR HANDRAILS SHALL NOT BE LESS THAN 1 1/4" OR MORE THAN 2" IN CROSS SECTIONAL DIMENSION OR IF SQUARE THE SHAPE SHALL PROVIDE AN EQUIVALENT PERIMETER DIMENSION OF 4" MIN. TO 6 1/4" MAXIMUM AND A CROSS SECTION OF NOT MORE THAN 2 1/4". THE HAND GRIP PORTION OF THE HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS.
- 4 STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE FOR EVERY STAIRWELL 88" IN WIDTH OR GREATER. AND SHALL BE PROVIDED WITH NOT LESS THAN ONE INTERMEDIATE HANDRAIL FOR EACH 88" OF WIDTH.
- 5 PROVIDE 42" GUARDRAILS FOR DECKS, BALCONIES, PORCHES, LOFTS, LANDINGS, ETC. WHEN FINISHED FLOOR HEIGHT EXCEEDS 30" FROM FINISHED GRADE OR FINISHED FLOOR BELOW. ANY OPENINGS IN GUARDRAILS SHALL BE SPACE SUCH THAT A 4" SPHERE CANNOT PASS THROUGH.
- 6 ALL WALLS AND SOFFITS OF THE ENCLOSED STAIRWAY SPACE SHALL BE PROTECTED ON THE ENCLOSED SIDE AS REQUIRED FOR ONE HOUR FIRE-RESISTIVE CONSTRUCTION.
- 7 STAIR LANDING REQUIRED EVERY 127" OF VERTICAL RISE.
- 8 PROVIDE LANDINGS AT THE TOP/BOTTOM OF THE STAIRWAY THE WIDTH OF THE STAIRWAY. THE DEPTH OF THE LANDING SHALL BE 36" MINIMUM.

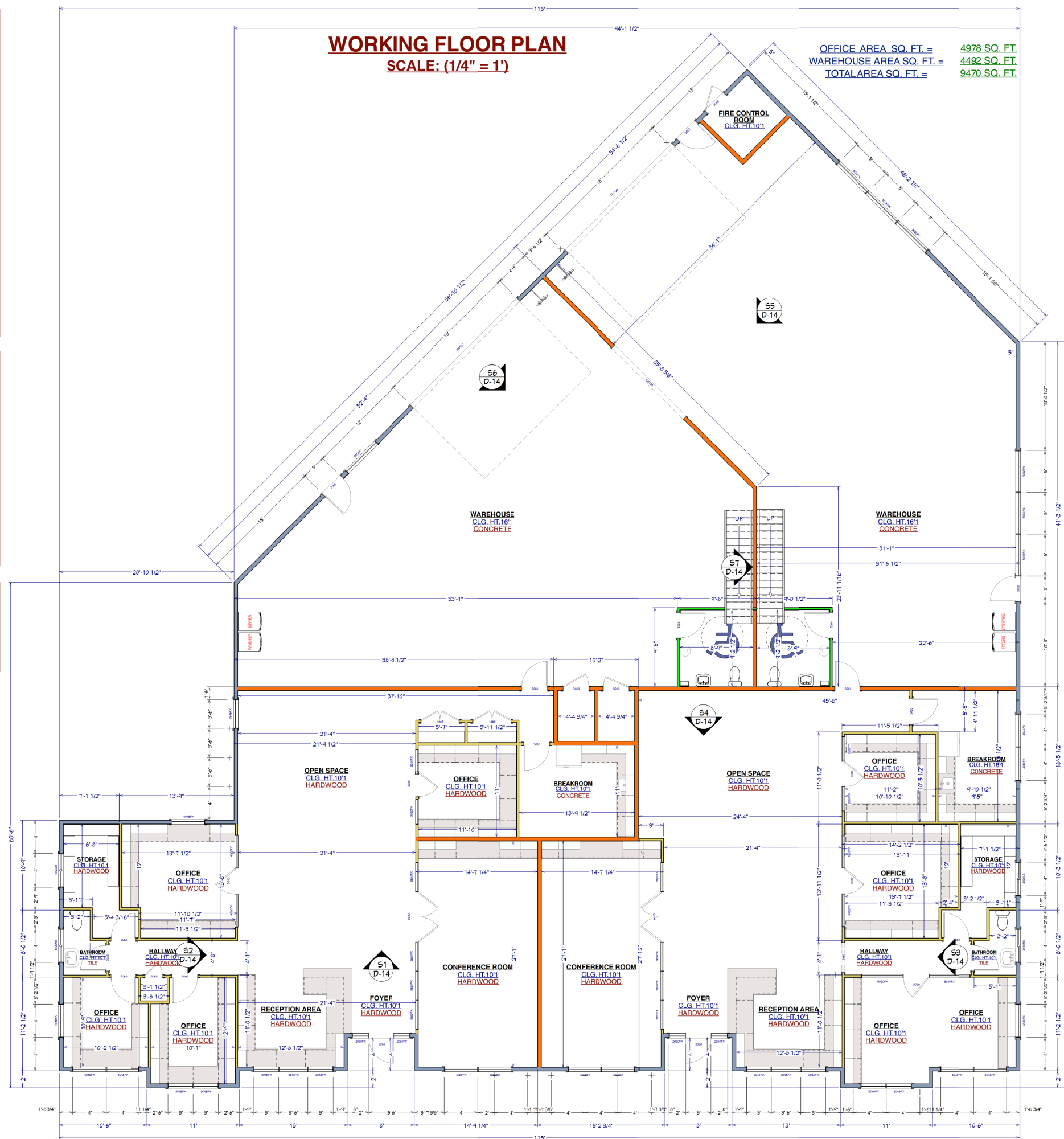
HARDWARE NOTES 3/13/24

- 1 ALL NUTS AND BOLTS SHALL BE PROVIDED WITH FLAT OR MALEABLE WASHERS WHERE BEARING AGAINST WOOD.
- 2 HOLES THROUGH BOLTS SHALL BE DRILLED 1/16" OVER SIZE.
- 3 HOLES FOR LAG BOLTS SHALL BE FIRST BORED TO THE SAME NORMAL DIAMETER AND DEPTH OF THE SHANK. THE REST SHALL BE NO LONGER THAN THE ROOT OF THE THREAD.
- 4 LAG BOLTS SHALL BE SCREWED-NOT DRIVEN INTO PLACE.
- 5 ALL BOLTS AND LAG BOLTS SHALL BE RETIGHTENED UPON INSTALLATION AND RETIGHTENED BEFORE CLOSING IN OR AT THE COMPLETION OF THE JOB.
- 6 ALL BOLTS ARE TO BE A S.T.M.A-307 MINIMUM UNLESS OTHERWISE NOTED. BOLTS SHALL BE NEW AND WITHOUT EXCESSIVE RUST.
- 7 ALL FASTENERS USED BY ATTACHMENT OF SIDING AND INTO PRESSURE TREATED LUMBER SHALL BE OF CORROSION RESISTANT TYPE.

WORKING FLOOR PLAN

SCALE: (1/4" = 1')

OFFICE AREA SQ. FT. = 4978 SQ. FT.
 WAREHOUSE AREA SQ. FT. = 4492 SQ. FT.
 TOTAL AREA SQ. FT. = 9470 SQ. FT.



SHEET: 8

D-5

LOVELAND PROPERTIES
 4625 PACIFIC ST.
 ROCKLIN CA 95677
 APN 010-030-008-000

DRAWINGS PROVIDED BY:
 DESIGNS BY POSTER
 GARLAND VALLEY, CA 95629
 designshydrographic@gmail.com
 (916) 559-5984

WORKING FLOOR PLAN

PERMIT # ????????

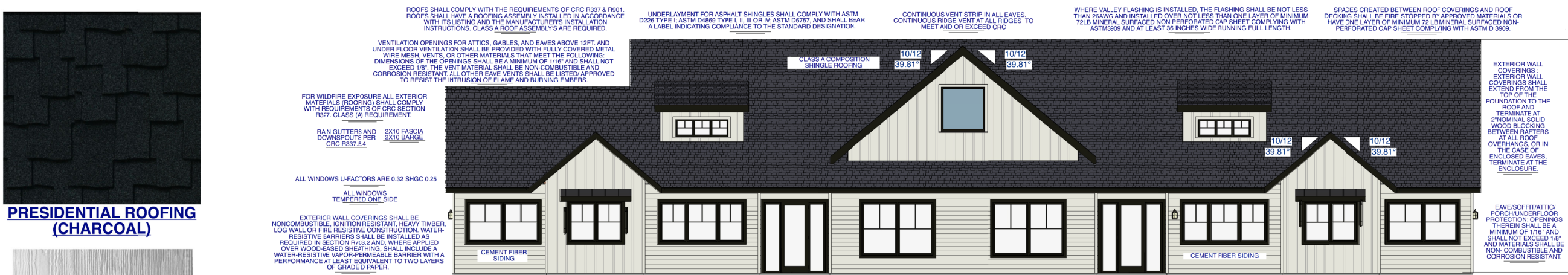
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DATE: 3/13/24

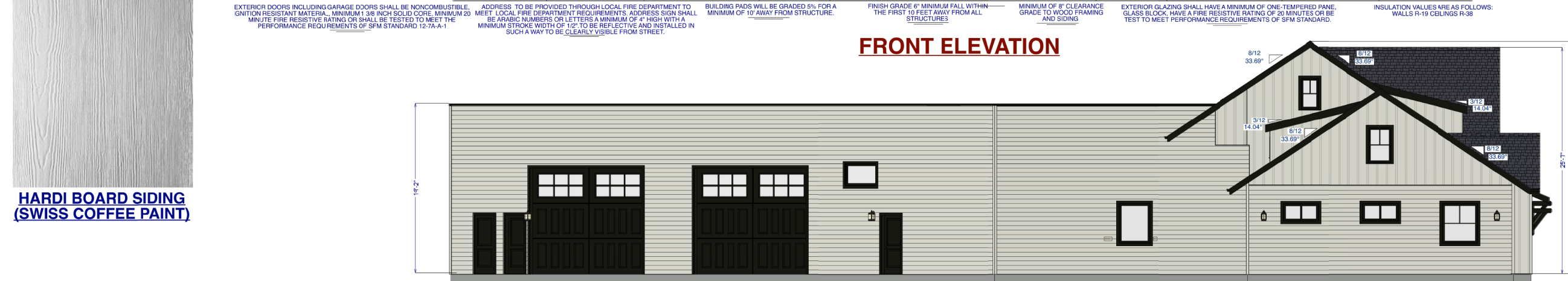
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FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

BUILDING SECTIONS & ELEVATIONS 3/13/24

- FOR WILDFIRE EXPOSURE ALL EXTERIOR MATERIALS (ROOFING) SHALL COMPLY WITH REQUIREMENTS OF CRC SECTION R327 CLASS (A) REQUIREMENT.
- EXTERIOR WALL COVERINGS SHALL BE NONCOMBUSTIBLE, IGNITION RESISTANT, HEAVY TIMBER, LOG WALL OR FIRE RESISTIVE CONSTRUCTION. WATER-RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER.
- EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE FOUNDATION TO THE ROOF AND TERMINATE AT 2" NOMINAL SOLID BLOCKING BETWEEN RAFTERS AND OVERHANGS.
- WHEN STUCCO IS USED ON EXTERIOR, PLASTERING WITH CEMENT PLASTER SHALL BE IN ACCORDANCE WITH ASTM C926. PLASTER SHALL NOT BE LESS THAN THREE COATS WHERE APPLIED OVER METAL LATH OR WIRE MESH.
- OPEN ENCLOSED ROOF EAVES AND SOFFITS, EXTERIOR PORCH CEILINGS, FLOOR PROJECTIONS, UNDERFLOOR AREAS AND UNDERSIDES OF APPENDAGES TO COMPLY WITH IGNITION RESISTANT CONSTRUCTION REQUIREMENTS.
- SPACES CREATED BETWEEN ROOF COVERINGS AND ROOF DECKING SHALL BE FIRE STOPPED BY APPROVED MATERIALS OR HAVE ONE LAYER OF MINIMUM 72 LB MINERAL SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909.
- WHERE VALLEY FLASHING IS INSTALLED, THE FLASHING SHALL BE NOT LESS THAN 28AWG AND INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 72LB MINERAL SURFACED NON PERFORATED CAP SHEET COMPLYING WITH ASTM3909 AND AT LEAST 36 INCHES WIDE RUNNING FULL LENGTH.
- VENTILATION OPENINGS FOR ATTICS, GABLES, AND EAVES ABOVE 12FT AND UNDER FLOOR VENTILATION SHALL BE PROVIDED WITH FULLY COVERED METAL WIRE MESH, VENTS, OR OTHER MATERIALS THAT MEET THE FOLLOWING: DIMENSIONS OF THE OPENINGS SHALL BE A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/8". THE VENT MATERIAL SHALL BE NON-COMBUSTIBLE AND CORROSION RESISTANT. ALL OTHER EAVE VENTS SHALL BE LISTED/ APPROVED TO RESIST THE INTRUSION OF FLAME AND BURNING EMBERS.
- BUILDING PADS WILL BE GRADED 5% FOR A MINIMUM OF 10' AWAY FROM STRUCTURE.
- CONTINUOUS VENT STRIP IN ALL EAVES. CONTINUOUS RIDGE VENT AT ALL RIDGES TO MEET AND OR EXCEED CRC R806 (TYP).
- A MINIMUM OF 8" CLEARANCE GRADE TO WOOD FRAMING AND SIDING PER CRC R317 (TYP).
- FINISH GRADE 6" MINIMUM FALL WITHIN THE FIRST 10 FEET AWAY FROM ALL STRUCTURES.
- CORROSION RESISTANT WEEP SCREED MINIMUM 4" ABOVE GRADE OR 2" ABOVE PAVED SURFACES.
- EXTERIOR GLAZING SHALL HAVE A MINIMUM OF ONE-TEMPERED PANE, GLASS BLOCK, HAVE A FIRE RESISTIVE RATING OF 20 MINUTES OR BE TESTED TO MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD.
- ALL WINDOWS U-FAC'TORS ARE 0.32 SHGC 0.25
- OPERABLE SKYLIGHTS SHALL BE PROTECTED BY NONCOMBUSTIBLE, MESH SCREEN 1/8" MAX OPENINGS
- EXTERIOR DOORS INCLUDING GARAGE DOORS SHALL BE NONCOMBUSTIBLE, IGNITION RESISTANT MATERIAL, MINIMUM 1 3/8 INCH SOLID CORE, MINIMUM 20 MINUTE FIRE RESISTIVE RATING OR SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-A-1
- GARAGE DOOR PERMITTER GAP MAXIMUM 1/8" METAL FLASHING, JAMB AND HEADER OVERLAP, AND WEATHER-STRIPPING MEETING SECTION REQUIREMENTS ARE PERMITTED.
- INSULATION VALUES ARE AS FOLLOWS: WALLS R-19 CEILINGS R-38 FLOORS R-19
- RAIN GUTTERS AND DOWNSPOUTS PER CRC R801, CPC 1101.1 WITH APPROVED LEAF GUARD
- THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10 FT OF GRADE LEVEL SHALL BE IGNITION RESISTANT MATERIAL, EXTERIOR FIRE-RETARDANT TREATED WOOD OR NONCOMBUSTIBLE MATERIAL.
- VENT TERMINALS OF DIRECT-VENT APPLIANCES, EXIT TERMINALS, GAS VENTS, ETC. SHALL NOT BE LOCATED UNDER DECKS WHICH COULD BE SEALED OFF AROUND THE PERIMETER WITH SNOW ACCUMULATION.
- UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM D226 TYPE I; ASTM D4889 TYPE I, II, III OR IV; ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION.
- A MINIMUM 0.19-INCH (NO. 26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3/16" SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.
- VENT TERMINALS OF DIRECT-VENT APPLIANCES, EXIT TERMINALS, GAS VENTS, ETC. SHALL NOT BE LOCATED UNDER DECKS WHICH COULD BE SEALED OFF AROUND THE PERIMETER WITH SNOW ACCUMULATION.
- THE EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILINGS SHALL BE NON-COMBUSTIBLE OR PROTECTED BY ONE OF THE FOLLOWING:
 - NONCOMBUSTIBLE MATERIAL
 - IGNITION-RESISTANT MATERIAL
 - ONE LAYER OF 5/8-INCH TYPE X GYPSUM SHEATHING BEHIND THE EXTERIOR COVER ON THE UNDERSIDE
- OF THE CEILING. 4. THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE
- UNDERSIDE OF THE CEILING ASSEMBLY. 5. PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE TESTED TO ASTM E2957. 6. PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE TESTED PER SFM STANDARD 12-7A-

ELEVATIONS
SCALE: (1/4" = 1')

SHEET: 12

D-9

LOVELAND PROPERTIES
 4625 PACIFIC ST.
 ROCKLIN CA 95677
 APN 010-030-008-000

DRAWINGS PROVIDED BY:
 DESIGNS BY FOSTER
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 ROCKLIN CA 95677
 dfo@designsbyfooster.com
 (916) 509-3984

ELEVATIONS

PERMIT #
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SCALE:

DATE:
3/13/24

SHEET: 12

D-9

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ROOF NOTES

3/13/24

- 1 CONTRACTOR, SUB CONTRACTOR, OR OWNER TO PROVIDE MANUFACTURERS SPECIFICATIONS, INSTALLATION INSTRUCTIONS, AND APPLICABLE REPORT OR EQUIVALENT TO BE ON SITE AT TIME OF INSPECTION OF ROOFING MATERIALS.
- 2 FOR WILDFIRE EXPOSURE ALL EXTERIOR MATERIALS (ROOFING) SHALL COMPLY WITH STATE AND LOCAL REQUIREMENTS.
- 3 CONTINUOUS VENT STRIP IN ALL EAVES, CONTINUOUS RIDGE VENT AT ALL RIDGES TO MEET AND OR EXCEED CRC R806
- 4 VENTILATION OPENINGS FOR ATTICS, GABLES, AND EAVES ABOVE 12FT. AND UNDER FLOOR VENTILATION SHALL BE PROVIDED WITH FULLY COVERED METAL WIRE MESH, VENTS, OR OTHER MATERIALS THAT MEET THE FOLLOWING DIMENSIONS OF THE OPENINGS SHALL BE A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/8". THE VENT MATERIAL SHALL BE NON-COMBUSTIBLE AND CORROSION RESISTANT.
- 5 RAIN GUTTERS AND DOWNSPOUTS PER CRC R801, CPC 1101.1 WITH APPROVED LEAF GUARD.
- 6 UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM D226 TYPE I; ASTM D4869 TYPE I, II, III OR IV; ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION.

WILDLAND-URBAN INTERFACE

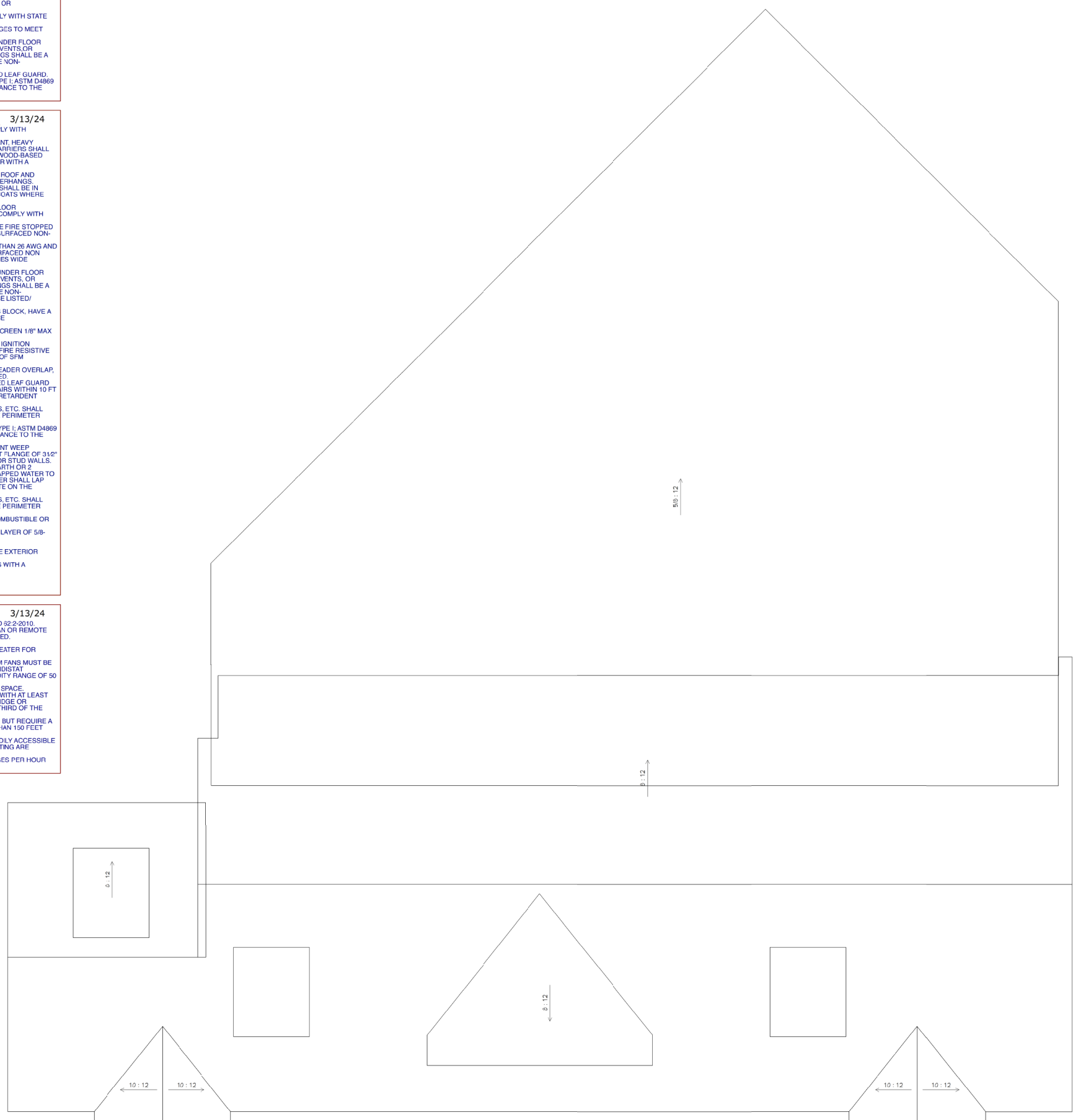
3/13/24

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- 2 EXTERIOR WALL COVERINGS SHALL BE NONCOMBUSTIBLE, IGNITION RESISTANT, HEAVY TIMBER, LOG WALL OR FIRE RESISTIVE CONSTRUCTION. WATER-RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER.
- 3 EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE FOUNDATION TO THE ROOF AND TERMINATE AT 2 INCH NOMINAL SOLID BLOCKING BETWEEN RAFTERS AND OVERHANGS.
- 4 WHEN STUCCO IS USED ON EXTERIOR, PLASTERING WITH CEMENT PLASTER SHALL BE IN ACCORDANCE WITH ASTM C926. PLASTER SHALL NOT BE LESS THAN THREE COATS WHERE APPLIED OVER METAL LATH OR WIRE LATH.
- 5 OPEN/ ENCLOSED ROOF EAVES AND SOFFITS, EXTERIOR PORCH CEILINGS, FLOOR PROJECTIONS, UNDERFLOOR AREAS AND UNDERSIDES OF APPENDAGES TO COMPLY WITH IGNITION RESISTANT CONSTRUCTION REQUIREMENTS.
- 6 SPACES CREATED BETWEEN ROOF COVERINGS AND ROOF DECKING SHALL BE FIRE STOPPED BY APPROVED MATERIALS OR HAVE ONE LAYER OF MINIMUM 72 LB MINERAL SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909.
- 7 WHERE VALLEY FLASHING IS INSTALLED, THE FLASHING SHALL BE NOT LESS THAN 26 AWG AND INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 72 LB MINERAL SURFACED NON PERFORATED CAP SHEET COMPLYING WITH ASTM 3909 AND AT LEAST 36 INCHES WIDE RUNNING FULL LENGTH.
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- 9 EXTERIOR GLAZING SHALL HAVE A MINIMUM OF ONE-TEMPERED PANE, GLASS BLOCK, HAVE A FIRE RESISTIVE RATING OF 20 MINUTES OR BE TESTE TO MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD.
- 10 OPERABLE SKYLIGHTS SHALL BE PROTECTED BY NONCOMBUSTIBLE, MESH SCREEN 1/8" MAX OPENINGS.
- 11 EXTERIOR DOORS INCLUDING GARAGE DOORS SHALL BE NONCOMBUSTIBLE, IGNITION RESISTANT MATERIAL, MINIMUM 1 3/8 INCH SOLID CORE, MINIMUM 20 MINUTE FIRE RESISTIVE RATING OR SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1.
- 12 GARAGE DOOR PERMITTER GAP MAXIMUM 1/8". METAL FLASHING, JAMB AND HEADER OVERLAP, AND WEATHER STRIPPING MEETING SECTION REQUIREMENTS ARE PERMITTED.
- 13 RAIN GUTTERS AND DOWNSPOUTS PER CRC R801, CPC 1101.1 WITH APPROVED LEAF GUARD.
- 14 THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10 FT OF GRADE LEVEL SHALL BE IGNITION RESISTANT MATERIAL, EXTERIOR FIRE-RETARDENT TREATED WOOD OR NONCOMBUSTIBLE MATERIAL.
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- 19 THE EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILINGS SHALL BE NON-COMBUSTIBLE OR PROTECTED BY ONE OF THE FOLLOWING:
 - 20.1. NONCOMBUSTIBLE MATERIAL.
 2. IGNITION-RESISTANT MATERIAL.
 3. ONE LAYER OF 5/8-INCH TYPE X GYPSUM SHEATHING BEHIND THE
 - 21 EXTERIOR COVER ON THE UNDERSIDE
 - 22 OF THE CEILING.
 4. THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE
 - 23 UNDERSIDE OF THE CEILING ASSEMBLY.
 5. PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE TESTED TO ASTM E2957.6.
 - 24 PORCH CEILING ASSEMBLIES WITH
 - 25 A HORIZONTAL UNDERSIDE TESTED PER SFM STANDARD 12-7A-

VENTILATION NOTES

3/13/24

- 1 ALL BUILDINGS SHALL MEET THE REQUIREMENTS OF ANSI/ASHRAE STANDARD 92.2-2010.
- 2 ENERGY STAR COMPLIANT QUIET (1.0 SOME MAX.) CEILING MOUNTED BATH FAN OR REMOTE MOUNTED IN LINE FAN MEETING THE REQUIRED VENTILATION RATE IS REQUIRED.
- 3 MANDATORY MINIMUM VENTILATION RATE FOR BATHROOMS =50 CFM.
- 4 AT LEAST ONE EXHAUST FAN TO OPERATE CONTINUOUSLY AT 118 CFM OR GREATER FOR INDOOR AIR QUALITY.
- 5 UNLESS FUNCTIONING AS A WHOLE HOUSE VENTILATION SYSTEM, BATHROOM FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT.
- 6 ENCLOSED RAFTER SPACES SHALL HAVE A 1" CLEAR CROSS CONTINULS AIR SPACE.
- 7 PROVIDE ATTIC CROSS VENTILATION: MINIMUM 1/150 OF ATTIC AREA OR 1/200 WITH AT LEAST 40% BUT NOT MORE THAN 50% OF VENTS ARE A MAXIMUM 3 FT. BELOW THE RIDGE OR HIGHEST SPACE IN THE ATTIC AND THE BALANCE IS LOCATED IN THE LOWER THIRD OF THE ATTIC SPACE.
- 8 AIR FILTERS AS MERV13 WITH A 2" NOMINAL DEPTH. 1" FILTERS ARE ALLOWED, BUT REQUIRE A CALCULATION TO DEMONSTRATE THAT THE FILTER FACE VELOCITY IS LESS THAN 150 FEET PER MINUTE.
- 9 WHEN CLOSABLE GLASS OR METAL DOORS ARE TO BE USED, PROVIDE A READILY ACCESSIBLE FLUE DAMPER, CONTINUOUSLY BURNING PILOT LIGHTS AND INDOOR AIR VENTING ARE PROHIBITED.
- 10 BATHROOM AND UTILITY ROOM FANS ARE TO BE CAPABLE OF FIVE AIR CHANGES PER HOUR PER AND 55 CFM.



ROOF PLAN
SCALE: (1/4" = 1')

SHEET: 13

D-10

LOVELAND PROPERTIES
4625 PACIFIC ST.
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APN 010-030-008-000

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ROOF PLAN

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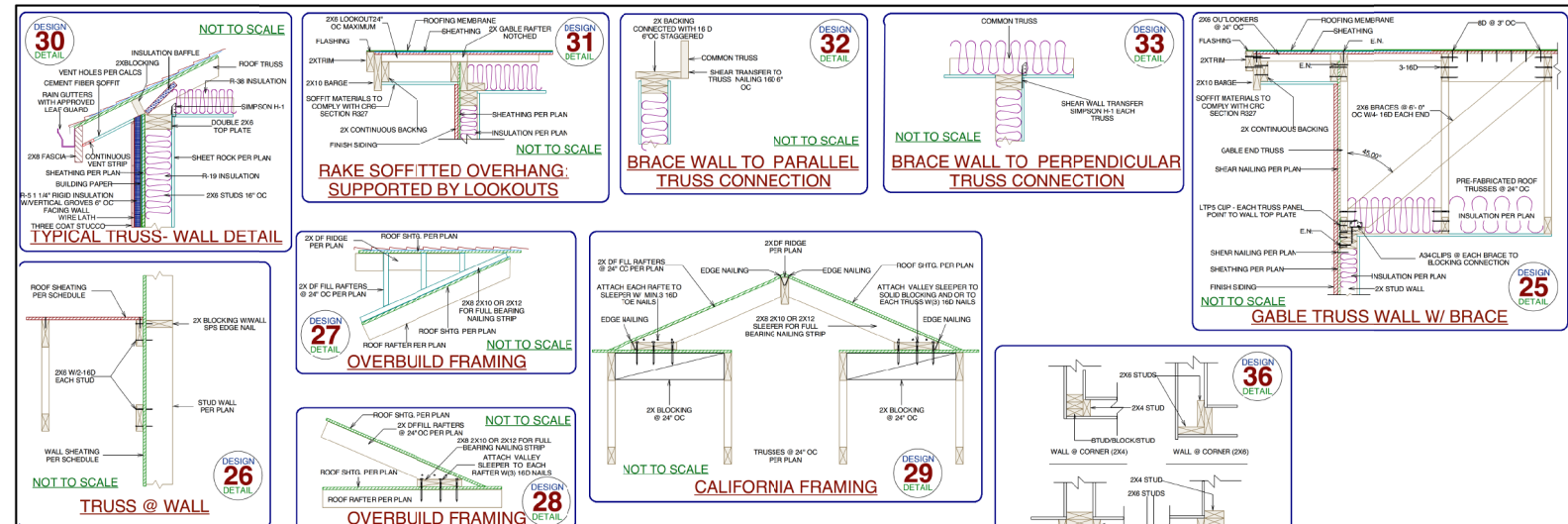
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3/13/24

SHEET: 13

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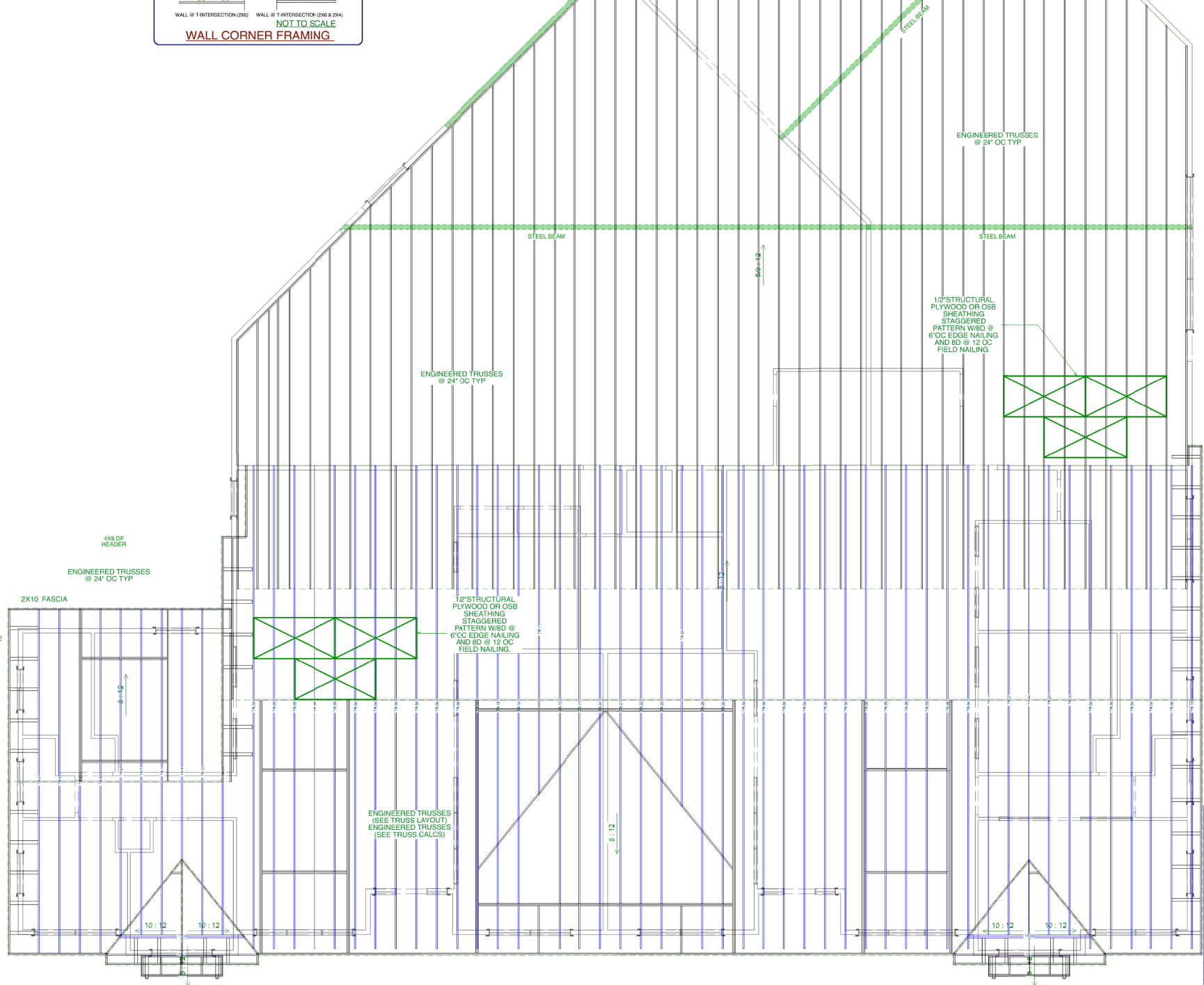
- ROOF FRAMING NOTES** 3/13/24
- 1 PRE-MANUFACTURED TRUSSES ARE TO BE DESIGNED BY TRUSS MANUFACTURER- WHERE APPLICABLE PROVIDE TRUSS CALCUS AT BUILDING SITE AT TIME OF FRAMING INSPECTION.
 - 2 ALL TRUSSES TO BE CONNECTED TO TOP PLATE BY SIMPSON H-1S FOR A MINIMUM RESISTANCE TO UPLIFT RESISTANCE OF NOT LESS THAN 175 POUNDS PER LINEAL FOOT.
 - 3 ALL TRUSSES SHALL BE ENGINEERED AND STAMPED WITH A SEPARATE DOCUMENT.
 - 4 ROOF SHEATHING TO BE 1/2" O.S.B. OR 1/2" CDX WITH RADIANT BARRIER AND NAILED WITH 8D AT 6" O.C. EDGE NAIL, 12" O.C. FIELD NAILED UNLESS OTHERWISE NOTED.
 - 5 STAGGER ALL END JOINTS AND RUN SHEETS PERPENDICULAR TO DIRECTION OF THE FRAMING.
 - 6 TJI MICRO-LAM AND PARALAM ARE TRADEMARKS OF TRADE JOIST MACMILLAN AND CAN BE SUBSTITUTED WITH EQUIVALENT MATERIAL FROM OTHER MANUFACTURER, WITH ENGINEERING APPROVAL.
 - 7 PROVIDE EDGE NAILING TO ALL BLOCKING OR RIM JOISTS, CONNECT ALL BLOCKING OR RIM JOISTS, WHICH OCCUR IN SHEAR WALL LINES, TO TOP PLATES WITH SIMPSON L-3S FRAMING CLIPS A 16" O.C. UNLESS OTHERWISE NOTED.
 - 8 PROVIDE CONTINUOUS BLOCKING OVER ALL BEARING WALLS, BEAMS, GIRDERS, HEADERS, AND SHEAR WALLS.
 - 9 PROVIDE 2" X 3" MINIMUM ATTIC ACCESS WITH 30" MINIMUM ABOVE OPENING.
 - 10 PROVIDE 150 SQ. FT. VENT AREA PER 150 SQ. FT. OF ATTIC SPACE FOR VENTILATION.
 - 11 PROVIDE PURLINS OF THE SAME SIZE MATERIAL AS SUPPORTED RAFTERS, BRACE TO BEARING LOCATIONS WITH STRUTS AT 6" O.C. MAXIMUM STRUTS TO BE SAME SIZE AS SUPPORTED RAFTERS AND SHALL BE BRACED WHERE LENGTHS EXCEED 6'.
 - 12 PROVIDE MINIMUM DOUBLE 2X POST AT EACH END OF ALL GIRDER TRUSSES.
 - 13 CONTINUOUS VENT STRIP IN ALL EAVES CONTINUOUS RIDGE VENT AT ALL RIDGES MEETING AND SURPASSING CRC #806 (TYP).
 - 14 DOUBLE TOP PLATE OVERLAPPING AND SPLICING REQUIREMENTS PER CODE OR BETTER, ANY THING LESS SHALL BE ACCOMPANIED BY ENGINEERING (TYP).
 - 15 ALL DIMENSIONAL LUMBER SHALL BE DOUGLAS FIR LARCH #2 AND LARGER LUMBER SHALL BE DOUGLAS FIR #1 OR BETTER U.O.N.
 - 16 ALL COLUMNS SHALL EXTEND DOWN THROUGH THE STRUCTURE TO THE FOUNDATION. ALL COLUMNS SHALL BE BRACED AT ALL FLOOR LEVELS. COLUMNS SHALL BE THE SAME WIDTH AS THE MEMBERS THEY ARE SUPPORTING.
 - 17 ALL JOISTS AND RAFTERS SHALL HAVE SOLID BLOCKING AT THEIR BEARING POINTS. CONNECTION TO TOP OF WALL WITH SIMPSON BRACKET.

- ROOF NOTES** 3/13/24
- 1 CONTRACTOR, SUB CONTRACTOR, OR OWNER TO PROVIDE MANUFACTURERS SPECIFICATIONS, INSTALLATION INSTRUCTIONS, AND APPLICABLE ES REPORT OR EQUIVALENT TO BE ON SITE AT TIME OF INSPECTION OF ROOFING MATERIALS.
 - 2 FOR WILDFIRE EXPOSURE ALL EXTERIOR MATERIALS (ROOFING) SHALL COMPLY WITH STATE AND LOCAL REQUIREMENTS.
 - 3 CONTINUOUS VENT STRIP IN ALL EAVES, CONTINUOUS RIDGE VENT AT ALL RIDGES TO MEET AND OR EXCEED CRC #806.
 - 4 VENTILATION OPENINGS FOR ATTICS, GABLES, AND EAVES ABOVE 12FT. AND UNDER FLOOR VENTILATION SHALL BE PROVIDED WITH FULLY COVERED METAL WIRE MESH, VENTS OF OTHER MATERIALS THAT MEET VHT FOLLOWING: DIMENSIONS OF THE OPENINGS SHALL BE A MINIMUM OF 1/8" AND SHALL NOT EXCEED 1/8". THE VENT MATERIAL SHALL BE NON-COMBUSTIBLE AND CORROSION RESISTANT.
 - 5 RAIN GUTTERS AND DOWNSPUTS PER CRC #801 CPC 1101.1 WITH APPROVED LEAF GUARD.
 - 6 UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM D226 TYPE I, ASTM D4869 TYPE II, III OR IV, ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION.

- HARDWARE NOTES** 3/13/24
- 1 ALL NUTS AND BOLTS SHALL BE PROVIDED WITH FLAT OR MALEABLE WASHERS WHERE BEARING AGAINST WOOD.
 - 2 HOLES THROUGH BOLTS SHALL BE DRILLED 1/16" OVER SIZE.
 - 3 HOLES FOR LAG BOLTS SHALL BE FIRST BORED TO THE SAME NORMAL DIAMETER AND DEPTH OF THE SHANK. THE REST SHALL BE NO LONGER THAN THE ROOT OF THE THREAD.
 - 4 LAG BOLTS SHALL BE SCREWED-NOT DRIVEN INTO PLACE.
 - 5 ALL BOLTS AND LAG BOLTS SHALL BE TIGHTENED UPON INSTALLATION AND RETIGHTENED BEFORE CLOSING IN OR AT THE COMPLETION OF THE JOB.
 - 6 ALL BOLTS ARE TO BE A 5/16" MINIMUM UNLESS OTHERWISE NOTED. BOLTS SHALL BE NEW AND WITHOUT EXCESSIVE RUST.
 - 7 ALL FASTENERS USED BY ATTACHMENT OF SIDING AND INTO PRESSURE TREATED LUMBER SHALL BE OF CORROSION RESISTANT TYPE.

- FRAMING AND STRUCTURAL NOTES** 3/13/24
- 1 SHEATH ALL EXTERIOR WALLS WITH 3/8" C.D.X. AND NAIL WITH 8D AT 6" O.C. EDGE NAIL, 12" O.C. FIELD NAILED OR AS PER SHEAR WALL SCHEDULE. BLOCK ALL EDGES AS REQUIRED, OR AS SPECIFIED BY ENGINEERING SHEAR WALL SCHEDULE.
 - 2 AND 4X HORIZONTAL FRAMING IS TO BE D 2 OR BETTER - U.O.N.
 - 3 6X AND 8X HORIZONTAL FRAMING IS TO BE D 2 OR BETTER - U.O.N.
 - 4 ALL POSTS ARE TO BE D 4 OR BETTER - U.O.N.
 - 5 SIMPLE SPAN GULL LAMINATED BEAMS SHALL BE 24 FXV4-DF/DF-U.O.N.
 - 6 CANTILEVERED GULL LAMINATED BEAMS SHALL BE 24 FXV4-DF/DF - U.O.N.
 - 7 PROVIDE 4X12 DF HEADERS IN 2X4 STUD FRAMED WALLS WITH DOUBLE 2X4 TRIMMERS IF OPENINGS ARE 6 FT. OR MORE - VERIFY WITH PLANS.
 - 8 PROVIDE 6X12 DF HEADERS IN 2X6 STUD FRAMED WALLS WITH DOUBLE 2X6 TRIMMERS IF OPENINGS ARE 6 FT. OR MORE - VERIFY WITH PLANS.
 - 9 PROVIDE FULL BEARING SUPPORT FOR ALL BEAMS I.E. 4X BEAMS ARE TO BE SUPPORTED BY (2) 2X4 STUDS OR 4X POSTS, I.E. 6X AND 8X BEAMS ARE TO BE SUPPORTED BY 6X AND 8X POSTS RESPECTIVELY.
 - 10 GULL LAMINATED BEAMS CERTIFICATES WILL BE REQUIRED @ FRAMING INSPECTION.
 - 11 PROVIDE BLOCKING BETWEEN ALL FLOOR JOISTS, TRUSSES, AND RAFTERS AT ALL BEARING WALLS, GIRDERS, BEAMS, AND HEADERS.
 - 12 BEARING AND EXTERIOR WALL STUDS ARE TO BE CAPPED WITH DOUBLE TOP PLATE AND INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND INTERSECTIONS WITH OTHER PARTITIONS. END JOINTS AND DOUBLE TOP PLATES SHALL BE SET AT LEAST 48 INCH MINIMUM.
 - 13 MINIMUM CLEARANCE BETWEEN BOTTOM OF FLOOR JOIST AND THE GROUND SURFACE SHALL BE 18" MINIMUM. MINIMUM CLEARANCE OF FLOOR GIRDERS TO GROUND SURFACE SHALL BE 12" MINIMUM.
 - 14 FIRE BLOCK STUD WALLS AND PARTITIONS (INCLUDING FURRED SPACES) AT FLOOR, CEILING, SOFFITS, AND AT MID HEIGHT IN WALLS OVER 10' IN HEIGHT.
 - 15 NOTCHING OF BEARING WALLS SHALL NOT EXCEED 25% OF STUD AND BORED HOLES SHALL NOT EXCEED 40% OF STUD.
 - 16 NOTCHING OF NON-BEARING WALLS SHALL NOT EXCEED 40% OF STUD AND BORED HOLES SHALL NOT EXCEED 60% OF STUD.
 - 17 ALL MEMBERS ARE TO BE FRAMED, ANCHORED, TIED, AND BRACED SO AS TO DEVELOP THE STRENGTH AND RIGIDITY NECESSARY FOR THE PURPOSES FOR WHICH THERE USES.
 - 18 ALL TOP PLATES OF STUD WALLS SHALL BE A MINIMUM OF 48" LONG AND NAILED WITH (16) 16D AT EACH END OF EACH STUD PER CRC #801 CPC 1101.1 OR BETTER. ALL INTERSECTING WALLS NOT AT 90 DEGREES WITH RESPECT TO EACH OTHER, SHALL BE STRAPPED TOGETHER WITH SIMPSON M57 STRAPS. ALL STRAPS ARE TO BE CENTERED AT SPICE.
 - 19 JOINTS IN DOUBLE TOP PLATE OF STUD WALLS SHALL OCCUR AT THE CENTERLINE.
 - 20 PROVIDE POSITIVE TYPE POST TO BEAM CONNECTION WITH SIMPSON HARDWARE I.E. : CCP, BC, AC, PC, L, T, OR EQUIVALENT.
 - 21 POST TO BEAM CONNECTIONS POSITIVE CONNECTION SHALL PROVIDED TO ENSURE UPLIFT AND LATERAL DISPLACEMENT PROS 2 & CRC#801 9.7.
 - 22 MINIMUM NAILING REQUIREMENTS SHALL CONFORM TO 2016 C.R.C. TABLE.
 - 23 WHERE MULTIPLE 2X JOISTS ARE SITTCHED TOGETHER FOR CORN USE (2) 16D AT 12" O.C. FOR 4 OR MORE - USE (2) 1/2" THROUGH BOLTS WITH NUTS AND WASHERS AT 24" O.C.
 - 24 SHEATHING USED IN CONSTRUCTION OF SHEAR WALLS TO BE 4X8 MINIMUM EXCEPT AT BOUNDARIES OR AT CHANGES IN FRAMING WHERE THE MINIMUM WIDTH IS 12X2.
 - 25 FRAMING MEMBERS OR BLOCKING REQUIRED AT ALL PANEL EDGES IN SHEAR WALLS.
 - 26 DO NOT BREAK FACILITY WHEN NAILING ANY SHEAR WALLS.
 - 27 MOISTURE CONTENT OF LUMBER NOT TO EXCEED 19% AT THE TIME OF CONSTRUCTION.
 - 28 ALL FRAMING MEMBERS USED IN THE CONSTRUCTION OF SHEAR WALLS MUST BE DOUG FIR OR SPF FRAMING UNLESS NOTED ON FRAMING PLANS.

- VENTILATION NOTES** 3/13/24
- 1 ALL BUILDINGS SHALL MEET THE REQUIREMENTS OF ANSI/ASHRAE STANDARD 62.2-2010.
 - 2 ENERGY STAR COMPLIANT QUIET 110 SOME MAX. CEILING MOUNTED BATH FAN OR REMOTE MOUNTED IN-LINE FAN MEETING THE REQUIRED VENTILATION RATE IS REQUIRED.
 - 3 MANDATORY MINIMUM VENTILATION RATE FOR BATHROOMS = 50 CFM.
 - 4 AT LEAST ONE EXHAUST FAN TO OPERATE CONTINUOUSLY AT 118 CFM OR GREATER FOR INDOOR AIR QUALITY.
 - 5 UNLESS FUNCTIONING AS A WHOLE HOUSE VENTILATION SYSTEM, BATHROOM FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT.
 - 6 ENCLOSED RAFTER SPACES SHALL HAVE A 1" CLEAR CROSS CONTINUOUS AIR SPACE.
 - 7 PROVIDE ATTIC CROSS VENTILATION: MINIMUM 1/150 OF ATTIC AREA OR 1300 WITH AT LEAST 40% BUT NOT MORE THAN 50% OF VENTS ARE A MAXIMUM 3 FT. BELOW THE RIDGE OR HIGHEST SPACE IN THE ATTIC AND THE BALANCE IS LOCATED IN THE LOWER 1/3RD OF THE ATTIC SPACE.
 - 8 AIR FILTERS AS MERV13 WITH A 2" NOMINAL DEPTH 1" FILTERS ARE ALLOWED, BUT REQUIRE A CALCULATION TO DEMONSTRATE THAT THE FILTER FACE VELOCITY IS LESS THAN 150 FEET PER MINUTE.
 - 9 WHEN CLOSABLE GLASS OR METAL DOORS ARE TO BE USED, PROVIDE A READILY ACCESSIBLE CALCULATION TO DEMONSTRATE THAT THE FILTER FACE VELOCITY IS LESS THAN 150 FEET PER MINUTE.
 - 10 BATHROOM AND UTILITY ROOM FANS ARE TO BE CAPABLE OF FIVE AIR CHANGES PER HOUR PER AND 55 CFM.



ROOF FRAMING PLAN
SCALE: (1/4" = 1')

SHEET: 14

D-11

LOVELAND PROPERTIES
4625 PACIFIC ST.
ROCKLIN CA 95677
APN 010-030-008-000

DRAWINGS PROVIDED BY:
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925.559.5984

ROOF FRAMING PLAN

PERMIT #
??????????

SCALE:

DATE:
3/13/24

SHEET: 14

D-11

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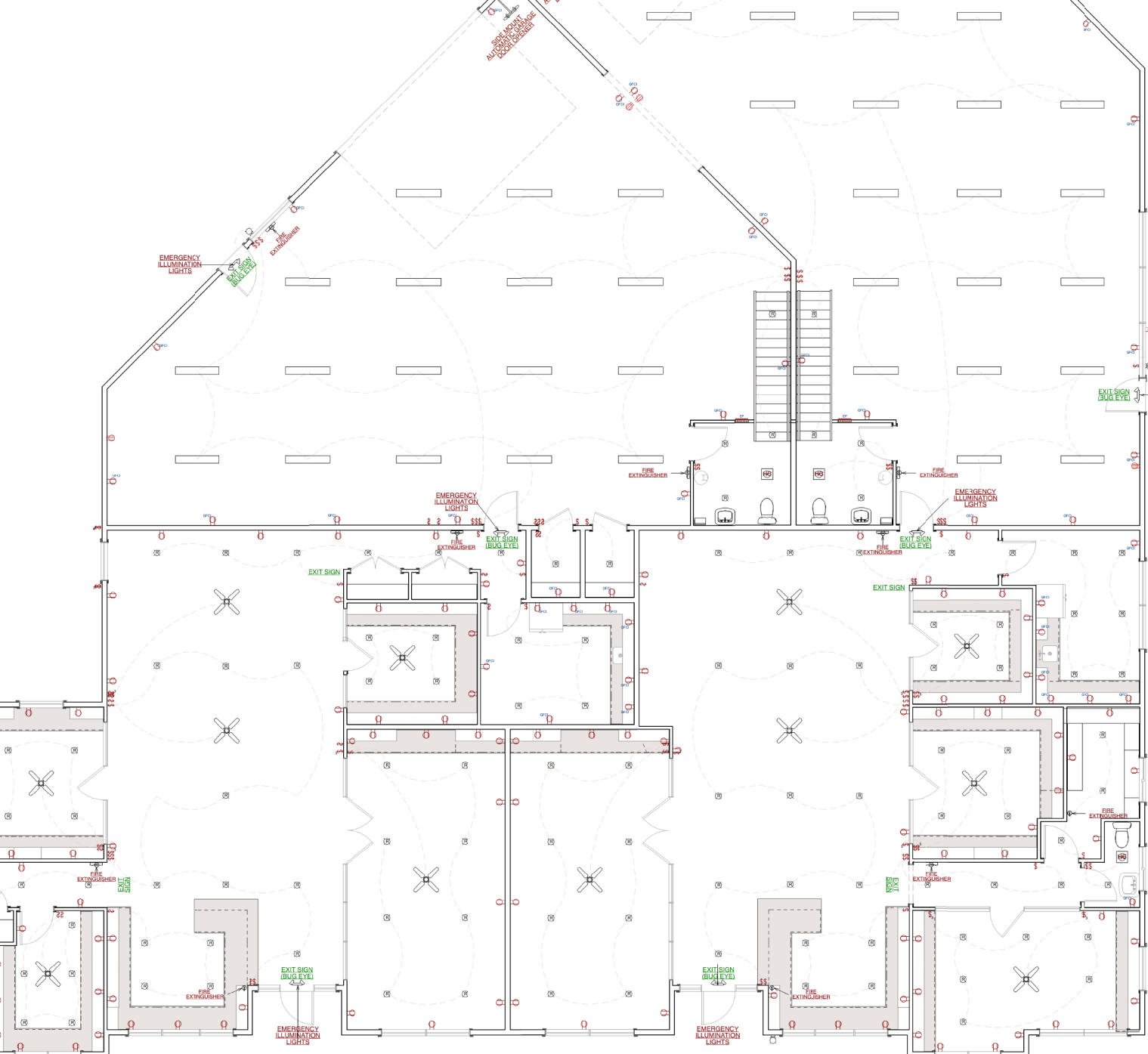
MECHANICAL LEGEND

SYMBOL	DESCRIPTION
	CEILING FAN WITH LIGHT
	CEILING FAN
	VENTILATION FAN, HUMIDITY CONTROL FAN, IQD
	LED CEILING MOUNTED LIGHT FIXTURES, SURFACE/PENDANT, RECESSED, HEAT LAMP, LOW VOLTAGE
	LED CHANDELER LED WALL SCONCE
	FLUORESCENT LIGHT FIXTURE, MOTION SENSOR (IN GARAGE)
	ALL RECEPTACLES SHALL BE TAMPER RESISTANT
	110V RECEPTACLES, DUPLEX, WEATHER PROOF, GFCI FLOOR RECEPTACLE, 240 V RECEPTACLE
	SWITCHES: SINGLE POLE, WEATHER PROOF, 3-WAY, 4-WAY
	VACANCY SWITCH, DIMMER, TIMER
	SPEAKERS: CEILING MOUNTED, WALL MOUNTED
	WALL JACKS: CATV, TV, TELEPHONE, THERMOSTAT
	DOOR CHOCKERS, DOORBELL, BUTTON
	SMOKE DETECTOR, CARBON DETECTOR
	ELECTRICAL BREAKER PANEL
	TANKLESS WATER HEATER
	CEILING REGISTER, FLOOR REGISTER
	DRIVER VENT
	ELECTRIC METER
	GAS LOCATION
	RETURN AIR REGISTER
	AIR CONDITIONER
	WHOLE HOUSE FAN

- PLUMBING NOTES** 3/13/24
- THIS GAS SHUT OFF VALVES REQUIRED WITHIN 6' OF ALL GAS APPLIANCES.
 - CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS WITH FUEL BURNING APPLIANCES OR WITH ATTACHED GARAGES.
 - ALL GAS FIRED EQUIPMENT (WHICH GENERATES A GLOW FLAME OR SPARK) LOCATED IN GARAGE IS TO BE 18" HIGH ABOVE FINISHED SLAB ON A WOOD PLATFORM AND SEISMICALLY BRACED WITH APPROVED STRAPPING.
 - 20% EFFICIENT TANKLESS WATER HEATER WITH 120V RECEPTACLE THAT IS WITHIN 3' FROM WATER HEATER WITH NO OBSTRUCTIONS, A CATEGORY II OR IV VENT OR A TYPE B VENT WITH STRAIGHT PIPE THROUGH THE OUTSIDE TERMINATION AND THE SPACE BETWEEN THE WATER HEATER IS INSTALLED. A CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER, AND ALLOWS NATURAL DRAINAGE WITHOUT PUMP ASSISTANCE. ALSO PROVIDE A GAS SUPPLY LINE WITH A CAPACITY OF AT LEAST 200,000 BTU/H.
 - WATER HEATERS SHALL BE STRAPPED FOR LATERAL SUPPORT.
 - INSULATE ALL HOT WATER PIPES.
 - PROVIDE WATER RESISTANT CYPRESS BOARD UNDER TUBS AND SHOWER TO A HEIGHT OF 70" MINIMUM ABOVE DRAIN INLET.
 - PROVIDE WATER RESISTANT CYPRESS BOARD UNDER TUBS AND SHOWER TO A HEIGHT OF 70" MINIMUM ABOVE DRAIN INLET.
 - RESIDENTIAL LAVATORY FAUCETS 1.2 G.P.M. MAXIMUM @ 80 PSI. KITCHEN FAUCETS 1.8 G.P.M. MAXIMUM @ 80 PSI. TEMPORARY INCREASE TO 2.2 G.P.M. ALLOWED BUT SHALL DEFAULT TO 1.8 G.P.M. CALCULATIONS ARE PROVIDED, AND CAN HAVE A MAXIMUM OF TWO 90-DEGREE ELBOWS. ADDITIONAL ELBOWS MAY BE USED, HOWEVER, THE LENGTH OF VENT MUST BE DECREASED BY 2 FEET FOR EACH ADDITIONAL ELBOW INSTALLED. TERMINATION POINT SHALL BE NO CLOSER THAN 3' FROM ANY WALL OPENING.
 - DRYER EXHAUST VENT DUCTING SHALL BE OF SMOOTH METAL AND EXTEND TO OUTSIDE WITH A BACKDRAFT DAMPER.
 - ALL FIREPLACES TO COMPLY WITH LOCAL AIR POLLUTION ORDINANCE REQUIREMENTS.
 - PROVIDE A NON REMOVABLE PREVENTION DEVICE AT ALL HOLES BSSJ SECOND TRAPS TO BE PROVIDED DOWNSTREAM OF THE WATER HEATER AND FAU SHUT OFF VALVE AS CLOSE TO THE INLET OF THE APPLIANCE AS PRACTICAL.
 - SEWED TRAPS TO BE PROVIDED DOWNSTREAM OF THE WATER HEATER AND FAU SHUT OFF VALVE AS CLOSE TO THE INLET OF THE APPLIANCE AS PRACTICAL.
 - ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT VENT SEAL-COMBUSTION TYPE.
 - VENT TERMINALS OF DIRECT VENT APPLIANCES, EXIT TERMINALS, GAS VENTS, ETC. SHALL NOT BE LOCATED UNDER DECKS WHICH COULD BE SEALED OFF AROUND THE PERIMETER WITH SNOW ACCUMULATION.

- ELECTRICAL NOTES** 3/13/24
- ALL WORK SHALL BE IN ACCORDANCE WITH ALL CODES, RULES, AND REGULATIONS AND THE 2017 C.E.C. CODE REQUIREMENTS.
 - ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER SHALL BE ON G.F.I.
 - ALL OUTLETS LOCATED IN GARAGE, LAUNDRY, KITCHEN AND BATHROOMS ARE TO HAVE G.F.I. AND A G.F.I. RECEPTACLES AND IN KITCHEN AND BATHROOMS SHALL BE INSTALLED ABOVE COUNTERTOPS.
 - TAMPER RESISTANT OUTLETS ARE REQUIRED AT ALL NEW CIRCUITS, PROVIDE TAMPER RESISTANT RECEPTACLES IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION ROOM, BATHROOM, GARAGE, BASEMENT, LAUNDRY AND UTILITY ROOMS.
 - INSTALL ALDULDE SMOKE DETECTORS ON INTERCONNECTED 110V CIRCUIT WITH BATTERY BACKUP.
 - WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL BUILDING OR SLEEPING UNIT, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL TRIGGER ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER CARBON MONOXIDE ALARMS WITHIN ALL INTERVENEING DWELLING UNITS. LOCATION MONITORING ALARMS SHALL ALSO BE INTERCONNECTED.
 - CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS WITH FUEL BURNING APPLIANCES OR WITH ATTACHED GARAGES.
 - CONDUCTOR WIRES WITH AN INSULATED NEUTRAL AND 4-PRONG OUTLET ARE REQUIRED FOR DRYERS AND COOKING UNITS.
 - PROVIDE WIRING FOR RANGE, HOOD W/BACK DRAFT DAMPER, LIGHT AND FAN @ 72" ABOVE COUNTER TOP.
 - PROVIDE 110 G.F.I. VOLT OUTLET FOR WATER HEATER AND HEATING EQUIPMENT.
 - CLOSET LIGHTING SHALL BE 18" FROM COMBUSTIBLES-MEASURED BOTH HORIZONTALLY AND VERTICALLY.
 - PROVIDE TEMPORARY MOTION SENSOR OVERRIDES: MOTION SENSORS MAY HAVE A TEMPORARY OVERRIDE FUNCTION THAT ALLOWS LUMINAIRES TO STAY SWITCHED ON REGARDLESS OF MOTION DETECTION, BUT THE MOTION SENSOR MUST AUTOMATICALLY REACTIVATE WITHIN 6 HOURS.
 - IF BATHROOM HAS NOT NATURAL VENTILATION PROVIDE EXHAUST FAN VENTED TO EXTERIOR AND SWITCH W/OTION SENSOR, A HUMIDISTAT SENSITIVE SWITCH.
 - LIGHTING FIXTURES IN TUB AND SHOWER ENCLOSURE SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS".
 - USE ONLY C.E.C. CERTIFIED APPLIANCES, SHOWER HEADS AND FAUCETS.
 - OWNER TO LOCATE SPECIALIZED OUTLETS & JACKS.
 - PROVIDE A WEATHERPROOF GFCI ELECTRICAL RECEPTACLE WITH IN 25' OF A.C. UNIT.
 - OUTSIDE SWITCHES SHALL BE WEATHERPROOF.
 - PROVIDE A RECEPTACLE AT OR NEAR MECHANICAL EQUIPMENT WHEN EQUIPMENT IS LOCATED IN ATTIC OR BASEMENT. A LIGHT SHALL AT OR NEAR WITH SWITCH NEAR ACCESS DOOR.
 - ALL LIGHTING RECESSED INTO INSULATED AREAS SHALL BE APPROVED FOR ZERO-CLEARANCE INSULATION COVER (I.C.) AND AIR TIGHT PER THE 2019 MANDATORY ENERGY REQUIREMENTS PER CODE.
 - ALL LIGHTS THROUGHOUT THE RESIDENCE, INCLUDING THE GARAGE AND EXTERIOR, SHALL BE HIGH EFFICACY.
 - HIGH EFFICACY LIGHTING IS DEFINED AS FOLLOWS: LUMINAIRES LESS THAN 15 WATTS = 40 LUMENS PER WATT, LUMINAIRES 15 - 40 = 50 LUMENS PER WATT, AND LUMINAIRES GREATER THAN 40 WATTS = 40 LUMENS PER WATT. THE BALLAST IS NOT INCLUDED WHEN CALCULATING LAMP EFFICIENCY. (2015 TITLE 24)
 - WATTAGE OF LUMINAIRES INSTALLED IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS MUST BE HIGH EFFICIENCY AND CONTROLLED BY PHOTO CONTROL/MOTION SENSOR. (2019 TITLE 24)
 - WATTAGE OF LUMINAIRES INSTALLED IN DWELLING UNIT ROOMS OTHER THAN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS MUST BE HIGH EFFICIENCY OR CONTROLLED BY AN OCCUPANT SENSOR OR DIMMER. CLOSETS LESS THAN 75 SQUARE FEET ARE EXEMPT FROM THIS REQUIREMENT. (2019 TITLE 24)
 - WATTAGE OF LUMINAIRES INSTALLED TO A BUILDING OR OTHER BUILDINGS ON THE SAME LOT MUST BE HIGH EFFICIENCY AND CONTROLLED BY A PHOTO CONTROL/MOTION SENSOR OR AN ASTRONOMICAL TIME CLOCK. (2019 TITLE 24)
 - THERE SHALL BE NO LIGHTS ALONG A WALL THAT IS MORE THAN 6 FEET FROM AN ELECTRICAL RECEPTACLE (12 FEET MAXIMUM BETWEEN OUTLETS AND ON ANY WALL GREATER THAN 2 FEET).
 - COUNTER TOPS GREATER THAN 12" SHALL HAVE ELECTRICAL RECEPTACLE OUTLET SPACING SO THAT NO 2 OUTLETS ARE FURTHER THAN 48" APART.
 - ARC-FAULT INTERRUPTERS REQUIRED IN ALL DWELLING UNIT BEDROOMS.
 - PROVIDE TAMPER RESISTANT RECEPTACLES IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION ROOM, BATHROOM, GARAGE, BASEMENT, LAUNDRY AND OUTDOOR AREA. ALL BRANCH CIRCUITS SHALL BE SUPPLY 120-VOLT SINGLE PHASE, 15 AND 20 AMP RECEPTACLES INSTALLED IN ALL DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT INTERRUPTER (S). C.E.C. 2019 OPEN OR PARTIALLY ENCLOSED RECEPTACLES SHALL NOT BE PERMITTED.
 - ELECTRICAL METER PANELS, SUBPANELS, AND DISCONNECTS REQUIRE A MINIMUM CLEAR WORKING SPACE OF 30" WIDE X 36" DEEP AND 8'6" HIGH.
 - G.F.I. OUTLET LOCATED IN FRONT AND REAR OF BUILDING AT GRADE LEVEL WITHIN 6' OF THE GROUND AND MUST HAVE A WEATHERPROOF PROTECTIVE COVER.
 - TWO OR MORE 20 AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL BE EVENLY PROPORTIONED TO SUPPLY THE KITCHEN, PANTRY, DINING ROOM OR SIMILAR AREA. SUCH CIRCUITS SHALL HAVE OTHER OUTLETS, LIGHTS, AND OR FRANS.
 - BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20 AMP BRANCH CIRCUIT. SLOTTED RECEPTACLE SHALL HAVE NO OTHER OUTLETS, LIGHTS, AND OR FRANS.
 - GROUNDING ELECTRICAL REQUIRED, BOND METALLIC GAS AND WATER TO THE SERVICE GROUND.
 - UNGASED ELECTRODE (UFER) CONSISTING OF 20' OF CONTINUOUS #4 REBAR OR #4 COPPERWIRE PLACED IN THE BOTTOM OF A FOOTING IS REQUIRED FOR ALL NEW CONSTRUCTION. BOND METALLIC GAS AND WATER PIPES TO GROUND. ALL GROUND CLAMPS SHALL BE ACCESSIBLE AND OF AN APPROVED TYPE.
 - MANUAL CONTROL LIGHTING MUST BE CONTROLLED BY A MANUAL ON/OFF SWITCH THAT IS NOT CAPABLE OF TURNING ON ANY LIGHTING THAT HAS BEEN SHUT OFF BY AN AUTOMATIC LIGHTING CONTROL.
 - CONDUCTOR WIRES WITH AN INSULATED NEUTRAL AND 4-PRONG OUTLET ARE REQUIRED FOR DRYERS AND COOKING UNITS.
 - DRYER EXHAUST VENT DUCTING SHALL BE OF SMOOTH METAL AND EXTEND TO OUTSIDE WITH A BACKDRAFT DAMPER.
 - LAUNDRY ROOM RECEPTACLES ARE REQUIRED TO HAVE A DEDICATED 20 AMP CIRCUIT THAT CAN NOT SERVE ANY OTHER RECEPTACLES, LIGHTS, AND OR FRANS.
 - USE ELECTRICAL BOXES THAT ARE APPROVED FOR CEILING FANS AT CEILING FAN LOCATIONS.
 - SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURES IN CLOSETS SHALL BE 12" MINIMUM FROM STORAGE AREAS (SHELVES). FLUORESCENT FIXTURES SHALL BE MINIMUM RECESSED LIGHTING.
 - ELECTRICAL WITHIN 6" OF ATTIC ACCESS SHALL BE PROTECTED.
 - NON METALLIC SHEATHED CABLE SHALL BE SECURED BY STAPLES, CABLE TIES, STRAPS, HANGERS AND AT INTERVALS NOT TO EXCEED 36" AND WITHIN 8" OF GRABBAR.
 - HIGH EFFICACY AND CONTROLS, HIGH-EFFICACY LUMINAIRES ARE REQUIRED IN GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS, AND THESE MUST BE CONTROLLED BY A VACANCY SENSOR.
 - SWITCH SEPARATELY CONTROL LIGHTING THAT IS INTEGRAL TO CEILING FANS SEPARATELY FROM THE VENTILATION.
 - GARAGE DOOR OPENERS, LIGHTING INTEGRAL TO GARAGE DOOR OPENERS DOES NOT HAVE TO BE HIGH EFFICACY WHEN THERE ARE MORE THAN TWO SCREW-BASE SOCKETS INTERIOR TO THE MACHINERY TURNER AND THE LIGHTS AUTOMATICALLY TURN ON AND OFF.
 - TEMPORARY MOTION SENSOR OVERRIDES: MOTION SENSORS MAY HAVE A TEMPORARY OVERRIDE FUNCTION THAT ALLOWS LUMINAIRES TO STAY SWITCHED ON REGARDLESS OF MOTION DETECTION, BUT THE MOTION SENSOR MUST AUTOMATICALLY REACTIVATE WITHIN SIX HOURS.
 - ALL 125-VOLT SINGLE PHASE, 15 & 20 AMPERE RECEPTACLES INSTALLED IN GARAGE ON FINISHED BASEMENT, CRAWL SPACE, OUTDOOR AREA, BATHROOM, KITCHEN, AND COUNTER TOP SURFACE WITHIN 6' OF A WET BAR, SINK, OR LAUNDRY/UTILITY SINK, SHALL HAVE A GROUND FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL.
 - PROVIDE ENCLOSED TYPE WHOLE HOUSE FAN.
 - 120-VOLT RECEPTACLE OUTLET AND A LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE FAN.
 - INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1" (NOMINAL) INCH INSIDE DIAMETER. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND TERMINATE INTO A LISTED CABINET BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. RACEWAYS ARE REQUIRED TO BE CONTINUOUSLY ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES.
 - WHERE A GAS WATER HEATER IS TO BE USED PROVIDE A SPECIAL RECEPTACLE ADJACENT TO THE WATER HEATER FOR REQUIRED PREWIRING FOR A FUTURE HEAT PUMP WATER HEATER. SYSTEMS USING GAS OR PROPANE WATER HEATERS SHALL INCLUDE A DEDICATED 120V, 20 AMP ELECTRICAL RECEPTACLE CONNECT TO THE ELECTRICAL PANEL WITH A 120/240 VOLT 3 CONDUCTOR, 10 AWG COPPER BRANCH CIRCUIT THAT IS WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE TO THE WATER HEATER WITH NO OBSTRUCTIONS. BOTH ENDS OF THE UNUSED CONDUCTOR SHALL BE LABELED WITH THE WORD SPARE AND BE ELECTRICALLY ISOLATED. ALSO PROVIDE A RESERVED SINGLE POLE CIRCUIT BREAKER SPACE IN THE ELECTRICAL PANEL ADJACENT TO THE BRANCH CIRCUIT ABOVE LABELED WITH THE WORDS "FUTURE 240V USE".

- LIGHTING NOTES** 3/13/24
- LUMINAIRE REQUIREMENTS
 - INSTALLED LUMINAIRES SHALL BE CLASSIFIED AS HIGH-EFFICACY OR LOW-EFFICACY FOR COMPLIANCE WITH SECTION 150.0(K) IN ACCORDANCE WITH TABLE 150.0-A OR TABLE 150.0-B, AS APPLICABLE.
 - HYBRID LUMINAIRES
 - WHEN A HIGH EFFICACY AND LOW EFFICACY LIGHTING SYSTEMS COMBINED TOGETHER IN A SINGLE LUMINAIRE, THE HIGH EFFICACY AND LOW EFFICACY LIGHTING SYSTEMS SHALL SEPARATELY COMPLY WITH THE APPLICABLE PROVISIONS OF SECTION 150.0(K).
 - LUMINAIRE WATTAGE AND CLASSIFICATION
 - THE WATTAGE AND CLASSIFICATION OF PERMANENTLY INSTALLED LUMINAIRES IN RESIDENTIAL KITCHENS SHALL BE DETERMINED IN ACCORDANCE WITH SECTION 150.0(K), IN RESIDENTIAL KITCHENS, THE WATTAGE OF ELECTRICAL FIXTURES FINISHED WITH A BLANK COVER OR WHERE NO ELECTRICAL EQUIPMENT HAS BEEN INSTALLED, AND WHERE THE ELECTRICAL BOX CAN BE USED FOR A LUMINAIRE OR A SURFACE MOUNTED CEILING FAN, SHALL BE CALCULATED AS 90 WATTS OF LOW EFFICACY LIGHTING PER ELECTRICAL BOX.
 - ELECTRONIC BALLASTS
 - FOR FLUORESCENT LAMPS RATED 13 WATTS OR GREATER SHALL BE ELECTRONIC AND SHALL HAVE AN OUTPUT FREQUENCY NO LESS THAN 20 KHZ.
 - NIGHT LIGHTS
 - PERMANENTLY INSTALLED NIGHT LIGHTS AND NIGHT LIGHTS INTEGRAL TO INSTALLED LUMINAIRES OR EXHAUST FANS SHALL BE SWITCHED OFF IN ACCORDANCE WITH SECTION 150.0(K). NIGHT LIGHTS SHALL NOT BE REQUIRED TO BE CONTROLLED BY VACANCY SENSORS.
 - LIGHTING INTEGRAL TO EXHAUST FANS
 - LIGHTING INTEGRAL TO EXHAUST FANS SHALL MEET THE APPLICABLE REQUIREMENTS OF SECTION 150.0(K).
 - EXCEPTION TO SECTION 150.0(K) IF LIGHTING INSTALLED BY THE MANUFACTURER IN KITCHEN EXHAUST HOODS.
 - SWITCHING DEVICES AND CONTROLS
 - HIGH EFFICACY LUMINAIRES SHALL BE SWITCHED SEPARATELY FROM LOW EFFICACY LUMINAIRES.
 - EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS.
 - EXCEPTION TO SECTION 150.0(K) IF LIGHTING INTEGRAL TO AN EXHAUST FAN MAY BE ON THE SAME SWITCH AS THE FAN PROVIDED THE LIGHTING CAN BE SWITCHED OFF IN ACCORDANCE WITH THE APPLICABLE PROVISIONS IN SECTION 150.0(K) WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR AN EXTENDED PERIOD OF TIME.
 - LUMINAIRES SHALL BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF.
 - LIGHTING CONTROLS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 - NO CONTROLS SHALL BYPASS A VACANCY SENSOR FUNCTION WHERE THAT DIMMER OR VACANCY SENSOR HAS BEEN INSTALLED TO COMPLY WITH SECTION 150.0(K).
 - LIGHTING CONTROLS SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF SECTION 10.9-G.
 - AN ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) MAY BE USED TO COMPLY WITH DIMMER REQUIREMENTS IN SECTION 150.0(K) IF AT A MINIMUM IT PROVIDES THE FUNCTIONALITY OF A DIMMER IN ACCORDANCE WITH SECTION 110.9, MEETS THE INSTALLATION CERTIFICATE REQUIREMENTS IN SECTION 150.4, THE EMCS REQUIREMENTS IN SECTION 150.5, AND COMPLIES WITH ALL OTHER APPLICABLE REQUIREMENTS IN SECTION 150.0(K).
 - AN ENERGY MANAGEMENT CONTROL SYSTEM MAY BE USED TO COMPLY WITH VACANCY SENSOR REQUIREMENTS IN SECTION 150.0(K) IF AT A MINIMUM IT PROVIDES THE FUNCTIONALITY OF A VACANCY SENSOR IN ACCORDANCE WITH SECTION 110.9, MEETS THE INSTALLATION CERTIFICATE REQUIREMENTS IN SECTION 150.4, THE EMCS REQUIREMENTS IN SECTION 150.5, AND COMPLIES WITH ALL OTHER APPLICABLE REQUIREMENTS IN SECTION 150.0(K).
 - A MULTISENSE PROGRAMMABLE DIMMER MAY BE USED TO COMPLY WITH DIMMER REQUIREMENTS IN SECTION 150.0(K) IF AT A MINIMUM IT PROVIDES THE FUNCTIONALITY OF A DIMMER IN ACCORDANCE WITH SECTION 110.9, AND COMPLIES WITH ALL OTHER APPLICABLE REQUIREMENTS IN SECTION 150.0(K).
 - LIGHTING IN KITCHENS
 - A MINIMUM OF 50 PERCENT OF THE TOTAL RATED WATTAGE OF PERMANENTLY INSTALLED LIGHTING IN KITCHENS SHALL BE HIGH EFFICACY.
 - FOR THE PURPOSE OF COMPLIANCE WITH SECTION 150.0(K), KITCHEN LIGHTING INCLUDES ALL PERMANENTLY INSTALLED LIGHTING IN THE KITCHEN EXCEPT FOR LIGHTING THAT IS INTERNAL TO CABINETS FOR THE PURPOSE OF ILLUMINATING ONLY THE INSIDE OF THE CABINETS. LIGHTING IN AREAS ADJACENT TO THE KITCHEN, INCLUDING BUT NOT LIMITED TO DINING AND NOOK AREAS, ARE CONSIDERED KITCHEN LIGHTING IF THEY ARE NOT SEPARATELY SWITCHED FROM KITCHEN LIGHTING.
 - EXCEPTION TO SECTION 150.0(K) UP TO 50 WATTS FOR DWELLING UNITS LESS THAN OR EQUAL TO 2,500 SQ FT OR 100 WATTS FOR DWELLING UNITS LARGER THAN 2,500 SQ FT MAY BE EXEMPT FROM THE 50 PERCENT HIGH EFFICACY LIGHTING REQUIREMENT WHEN ALL LIGHTING IN THE KITCHEN IS CONTROLLED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS IN SECTION 150.0(K), AND IS ALSO CONTROLLED BY VACANCY SENSORS OR DIMMERS.
 - LIGHTING INTERNAL TO CABINETS
 - PERMANENTLY INSTALLED LIGHTING THAT IS INTERNAL TO CABINETS SHALL USE NO MORE THAN 20 WATTS OF POWER PER LINEAR FOOT OF ILLUMINATED CABINET. THE LENGTH OF AN ILLUMINATED CABINET SHALL BE DETERMINED USING ONE OF THE FOLLOWING MEASUREMENTS, REGARDLESS OF THE NUMBER OF SHELVES OR THE NUMBER OF DOORS IN CABINET SECTION:
 - ONE HORIZONTAL LENGTH PER ILLUMINATED CABINET OR
 - ONE VERTICAL LENGTH PER ILLUMINATED CABINET SECTION, OR
 - NO MORE THAN ONE VERTICAL LENGTH PER EVERY 40 HORIZONTAL INCHES OF ILLUMINATED CABINET.
 - LIGHTING IN BATHROOMS
 - LIGHTING INSTALLED IN BATHROOMS SHALL MEET THE FOLLOWING REQUIREMENTS:
 - A MINIMUM OF ONE HIGH EFFICACY LUMINAIRE SHALL BE INSTALLED IN EACH BATHROOM; AND
 - ALL OTHER LIGHTING INSTALLED IN EACH BATHROOM SHALL BE HIGH EFFICACY OR CONTROLLED BY VACANCY SENSORS.
 - LIGHTING IN GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS
 - LIGHTING INSTALLED IN ATTACHED AND DETACHED GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINAIRES AND CONTROLLED BY VACANCY SENSORS.
 - LIGHTING OTHER THAN IN KITCHENS, BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS
 - LIGHTING INSTALLED IN ROOMS OR AREAS OTHER THAN IN KITCHENS, BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY, OR SHALL BE CONTROLLED BY EITHER DIMMERS OR VACANCY SENSORS.
 - EXCEPTION 1 TO SECTION 150.0(K): LUMINAIRES IN CLOSETS LESS THAN 75 SQUARE FEET. EXCEPTION 2 TO SECTION 150.0(K): LIGHTING IN DETACHED STORAGE BUILDINGS LESS THAN 1,000 SQUARE FEET LOCATED ON A RESIDENTIAL SITE.
 - RECESSED LUMINAIRES IN CEILINGS
 - LUMINAIRES RECESSED INTO CEILINGS SHALL MEET ALL OF THE FOLLOWING REQUIREMENTS:
 - BE LISTED, AS DEFINED IN SECTION 100.1, FOR ZERO CLEARANCE INSULATION CONTACT (IC) BY UNDERWRITERS LABORATORIES OR OTHER NATIONALLY RECOGNIZED TESTING/RATING LABORATORY; AND
 - HAVE A LABEL THAT CERTIFIES THAT THE LUMINAIRE IS AIRTIGHT WITH AIR LEAKAGE LESS THAN 2 CFM AT 75 PASSELS WHEN TESTED IN ACCORDANCE WITH ASTM E935. AN EXHAUST FAN HOUSING SHALL NOT BE REQUIRED TO BE CERTIFIED AIRTIGHT, AND
 - BE SEALED WITH A GASKET OR CAULK IN THE LUMINAIRE HOUSING AND CEILING, AND SHALL HAVE ALL AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SEALED WITH A GASKET OR CAULK; AND
 - FOR RECESSED COMPACT FLUORESCENT LUMINAIRES WITH BALLASTS TO QUALIFY AS HIGH EFFICACY FOR COMPLIANCE WITH SECTION 150.0(K), THE BALLASTS SHALL BE CERTIFIED AIRTIGHT, AND THE COMMISSION TO COMPLY WITH THE APPLICABLE REQUIREMENTS IN SECTION 110.9; AND
 - ALLOW BALLAST MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW THE CEILING WITHOUT REQUIRING THE CUTTING OF HOLES IN THE CEILING.
 - RESIDENTIAL OUTDOOR LIGHTING
 - LUMINAIRES PROVIDING RESIDENTIAL OUTDOOR LIGHTING SHALL MEET THE FOLLOWING REQUIREMENTS, AS APPLICABLE:
 - FOR SINGLE-FAMILY RESIDENTIAL BUILDINGS, OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING OR OTHER BUILDING ON THE SAME LOT SHALL BE HIGH EFFICACY, OR MAY BE LOW EFFICACY IF IT MEETS ALL OF THE FOLLOWING REQUIREMENTS:
 - CONTROLLED BY A MANUALLY OPERATED ON/OFF SWITCH THAT DOES NOT OVERRIDE TO ON THE AUTOMATIC ACTIONS OF ITEMS II OR III BELOW; AND
 - CONTROLLED BY A MOTION SENSOR NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE MOTION SENSOR, OR CONTROLLED BY A MOTION SENSOR HAVING A TEMPORARY OVERRIDE SWITCH WHICH TEMPORARILY BYPASSES THE MOTION SENSING FUNCTION AND AUTOMATICALLY REACTIVATES WITHIN SIX HOURS.
 - CONTROLLED BY ONE OF THE FOLLOWING METHODS:
 - ASTRONOMICAL TIME CLOCK NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE ASTRONOMICAL TIME CLOCK, AND WHICH IS PROGRAMMED TO AUTOMATICALLY TURN THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS; OR
 - ENERGY MANAGEMENT CONTROL SYSTEM WHICH MEETS ALL OF THE FOLLOWING REQUIREMENTS:
 - A MINIMUM PROVIDES THE FUNCTIONALITY OF AN ASTRONOMICAL TIME CLOCK IN ACCORDANCE WITH SECTION 110.9; MEETS THE INSTALLATION CERTIFICATION REQUIREMENTS IN SECTION 150.4; MEETS THE REQUIREMENTS IN SECTION 150.5; DOES NOT HAVE AN OVERRIDE OR BYPASS SWITCH THAT ALLOWS THE LUMINAIRE TO BE ALWAYS ON; AND IS PROGRAMMED TO AUTOMATICALLY TURN THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS.



MECHANICAL PLAN
SCALE: (1/4" = 1')

- MECHANICAL NOTES** 3/13/24
- HERS TEST REQUIRED IN ALL NEW SYSTEMS.
 - INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT INSPECTION.
 - HVAC SYSTEM TO BE DESIGNED BY A MECHANICAL ENGINEER OR A LICENSED HVAC CONTRACTOR. HEATING SYSTEM SHALL BE CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 70 DEGREES F AT LEAST 3' ABOVE FLOOR IN ALL HABITABLE ROOMS. FURNACE PARTS MUST FIT THROUGH ATTIC ACCESS.
 - MECHANICAL EQUIPMENT LOCATED IN AN ATTIC OR BASEMENT ARE REQUIRED TO BE WITHIN 20' OF ACCESS AND SHALL HAVE A LEVEL 30" SQ. X 3/4" THICK WORKING PLATFORM ON THE CONTROL SIDE OF THE UNIT. PROVIDE 24"W X 3/4" THICK CATWALK FROM ATTIC ACCESS TO PLATFORM.
 - HVAC UNIT SHALL HAVE A MINIMUM AFUE OF 90 AND A MIN. SEER OF 14.0. DUCTS SHALL HAVE A MINIMUM R-8 VALUE INSULATION. (SEE ENERGY CALC.)
 - TERMINATE ALL ENVIRONMENTAL AIR DUCTS A MINIMUM OF 3' FROM ANY PROPERTY LINE OR ANY OPENING INTO THE BUILDING (E. DRYER, BATH FAN, UTILITY FAN, ETC. MUST BE 3' AWAY FROM DOORS, WINDOWS, OPENABLE SKYLIGHTS OR ATTIC VENTS).
 - DRYER VENT TO OUTSIDE CAN NOT EXCEED 14 FEET IN ANY DIRECTION (UNLESS CALCULATIONS ARE PROVIDED), AND CAN HAVE A MAXIMUM OF TWO 90-DEGREE ELBOWS. ADDITIONAL ELBOWS MAY BE USED, HOWEVER, THE LENGTH OF VENT MUST BE DECREASED BY 2 FEET FOR EACH ADDITIONAL ELBOW INSTALLED. TERMINATION POINT SHALL BE NO CLOSER THAN 3' FROM ANY WALL OPENING (20" C.M.C.).
 - DRYER EXHAUST VENT DUCTING SHALL BE OF SMOOTH METAL AND EXTEND TO OUTSIDE WITH A BACKDRAFT DAMPER.
 - HVAC SYSTEM TO BE DESIGNED BY A MECHANICAL ENGINEER OR A LICENSED HVAC CONTRACTOR. HEATING SYSTEM SHALL BE CAPABLE OF MAINTAINING ROOM TEMPERATURE OF 70° F AT 3' ABOVE THE FLOOR IN ALL HABITABLE ROOMS. FURNACE PARTS MUST FIT THROUGH ATTIC ACCESS.
 - A MECHANICAL FAN FOR VENTILATION 50 CFM EXHAUST CAPABLE OF PROVIDING A MINIMUM OF 4 AIR CHANGES PER HOUR SHALL BE INSTALLED IN ALL BATHROOM/TILE ROOMS.CMC TABLE 4.4
 - 100 CFM MINIMUM DOMESTIC KITCHEN VENT
 - 22 A COMPRESSOR OR PORTION OF A CONDENSING UNIT SUPPORTED FROM THE GROUND SHALL REST ON A CONCRETE OR OTHER APPROVED BASE EXTENDING NOT LESS THAN 3 INCHES ABOVE THE ADJACENT GROUND LEVEL.
 - 120-VOLT RECEPTACLE OUTLET AND A LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE FAU.

- VENTILATION NOTES** 3/13/24
- ALL BUILDINGS SHALL MEET THE REQUIREMENTS OF ANSI/ASHRAE STANDARD 62-2-2010.
 - ENERGY STAR COMPLIANT QUIET (1.0 SOUND MAX) CEILING MOUNTED BATH DR REMOTE MOUNTED INLINE FAN MEETING THE REQUIRED VENTILATION RATE IS REQUIRED.
 - MANDATORY MINIMUM VENTILATION RATE FOR BATHROOMS = 40
 - AT LEAST ONE EXHAUST FAN TO OPERATE CONTINUOUSLY AT 118 CFM OR GREATER FOR INDOOR AIR QUALITY.
 - UNLESS FUNCTIONING AS A WHOLE HOUSE VENTILATION SYSTEM, BATHROOM FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT.
 - ENCLOSED RAFTER SPACES SHALL HAVE A 1" CLEAR CROSS CONTINUOUS AIR SPACE.
 - PROVIDE ATTIC CROSS VENTILATION: MINIMUM 1/150 OF ATTIC AREA OR 1/200 WITH AT LEAST 10% BUT NOT MORE THAN 10% OF VENTS ARE A MAXIMUM 1/3 FT. BELT POINT RIDGE OR HIGHEST SPACE IN THE ATTIC AND THE BALANCE IS LOCATED IN THE LOWER THIRD OF THE ATTIC SPACE.
 - AIR FILTERS AS MERV13 WITH A 2" NOMINAL DEPTH 1" FILTERS ARE ALLOWED, BUT REQUIRE A CALCULATION TO DEMONSTRATE THAT THE FILTER FACE VELOCITY IS LESS THAN 150 FEET PER MINUTE.
 - WHEN CLOSABLE GLASS OR METAL DOORS ARE TO BE USED, PROVIDE A READILY ACCESSIBLE FLUE DAMPER CONTINUOUSLY BURNING PILOT LIGHTS AND INDOOR AIR VENTILATION IS PROHIBITED.
 - BATHROOM AND UTILITY ROOM FANS ARE TO BE CAPABLE OF FIVE AIR CHANGES PER HOUR PER AND 55 CFM.

- VENTILATION NOTES** 3/13/24
- ALL BUILDINGS SHALL MEET THE REQUIREMENTS OF ANSI/ASHRAE STANDARD 62-2-2010.
 - ENERGY STAR COMPLIANT QUIET (1.0 SOUND MAX) CEILING MOUNTED BATH DR REMOTE MOUNTED INLINE FAN MEETING THE REQUIRED VENTILATION RATE IS REQUIRED.
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 - ENCLOSED RAFTER SPACES SHALL HAVE A 1" CLEAR CROSS CONTINUOUS AIR SPACE.
 - PROVIDE ATTIC CROSS VENTILATION: MINIMUM 1/150 OF ATTIC AREA OR 1/200 WITH AT LEAST 10% BUT NOT MORE THAN 10% OF VENTS ARE A MAXIMUM 1/3 FT. BELT POINT RIDGE OR HIGHEST SPACE IN THE ATTIC AND THE BALANCE IS LOCATED IN THE LOWER THIRD OF THE ATTIC SPACE.
 - AIR FILTERS AS MERV13 WITH A 2" NOMINAL DEPTH 1" FILTERS ARE ALLOWED, BUT REQUIRE A CALCULATION TO DEMONSTRATE THAT THE FILTER FACE VELOCITY IS LESS THAN 150 FEET PER MINUTE.
 - WHEN CLOSABLE GLASS OR METAL DOORS ARE TO BE USED, PROVIDE A READILY ACCESSIBLE FLUE DAMPER CONTINUOUSLY BURNING PILOT LIGHTS AND INDOOR AIR VENTILATION IS PROHIBITED.
 - BATHROOM AND UTILITY ROOM FANS ARE TO BE CAPABLE OF FIVE AIR CHANGES PER HOUR PER AND 55 CFM.

PLUMBING NOTES

3/13/24

- 1 THIS GAS SHUT OFF VALVE REQUIRED WITHIN 6' OF ALL GAS APPLIANCES.
2 CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS WITH FUEL BURNING APPLIANCES OR WITH ATTACHED GARAGES.

MECHANICAL NOTES

3/13/24

- 1 HERS TEST REQUIRED IN ALL NEW DUCT SYSTEMS.
2 INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.

VENTILATION NOTES

3/13/24

- 1 ALL BUILDINGS SHALL MEET THE REQUIREMENTS OF ANSI/ASHRAE STANDARD 62.2-2010.
2 ENERGY STAR COMPLIANT QUIET (1.0 SONE) MAX-CEILING MOUNTED BATH FAN OR REMOTE MOUNTED INLINE FAN MEETING THE REQUIRED VENTILATION RATE IS REQUIRED.

ELECTRICAL NOTES

3/13/24

- 1 ALL WORK SHALL BE IN ACCORDANCE WITH ALL CODES, RULES, AND REGULATIONS AND COMPLY WITH THE 2019 C.E.C. CODE REQUIREMENTS.
2 ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER SHALL BE ON G.F.I. CIRCUIT AND WEATHERPROOF.

MECHANICAL LEGEND
SYMBOL DESCRIPTION
CEILING FAN WITH LIGHT
CEILING FAN
VENTILATION FANS: HUMIDITY CONTROL FAN, IAQ...

SHEET: 16

D-13

LOVELAND PROPERTIES
DESIGNS BY FOSTER
4625 PACIFIC ST.
ROCKLIN CA 95667
APN 010-030-008-000

DRAWINGS PROVIDED BY:
DESIGNS BY FOSTER
GABRIEL WALLACE, P.E.
gab.wallace@fooster.com
(916) 559-2500

HVAC/ GAS LINE/ PLAN

PERMIT #
??????????

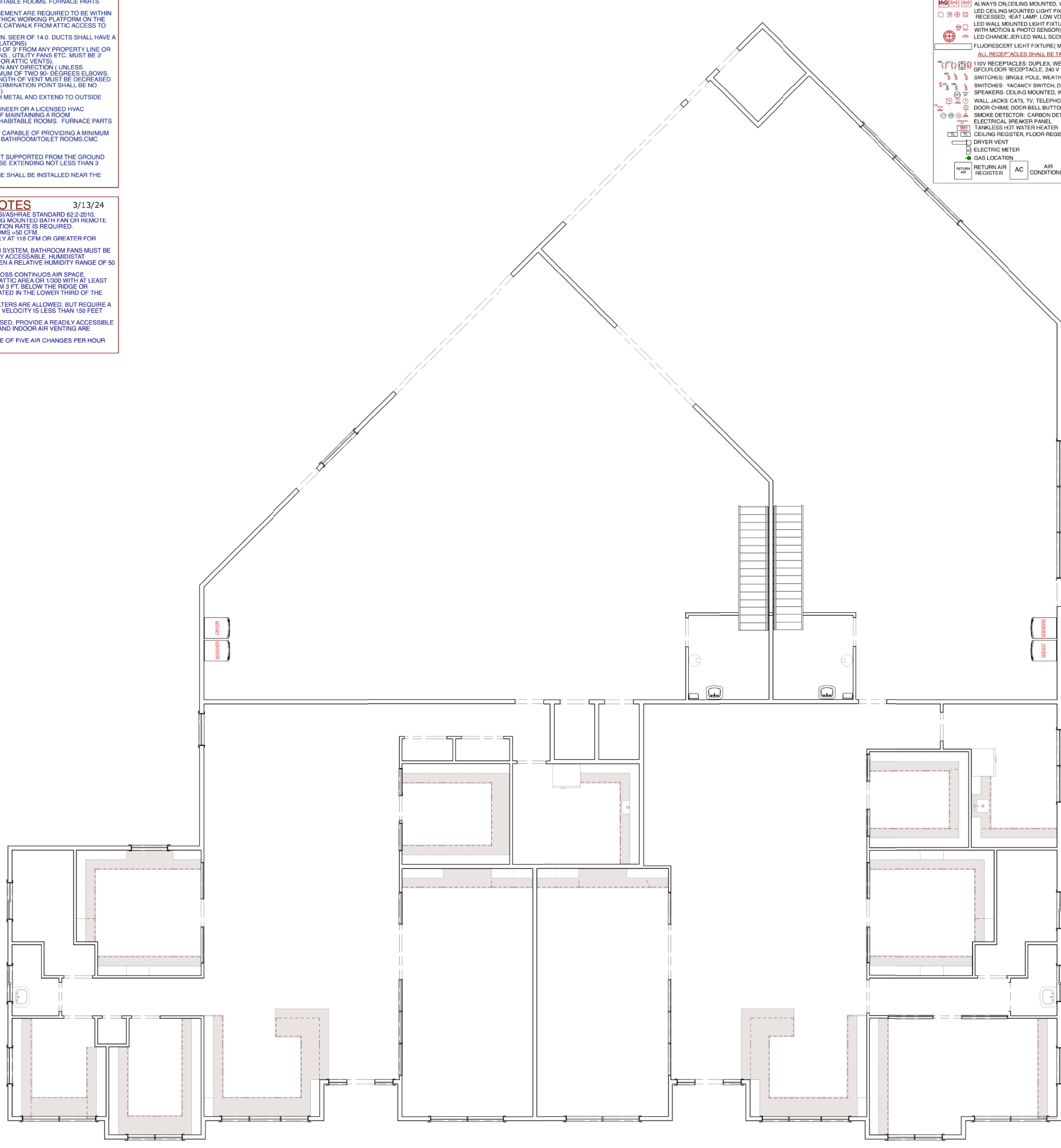
SCALE:

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3/13/24

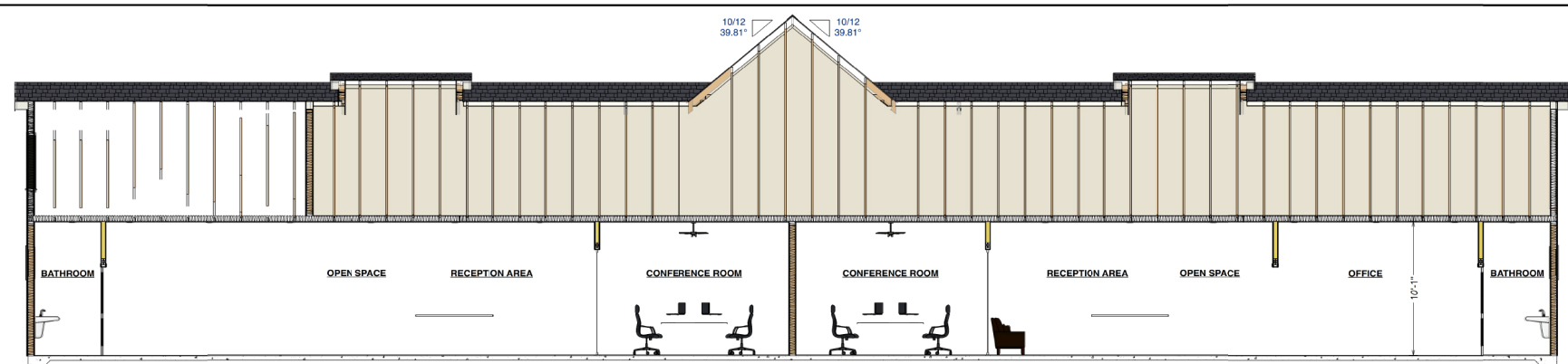
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D-13

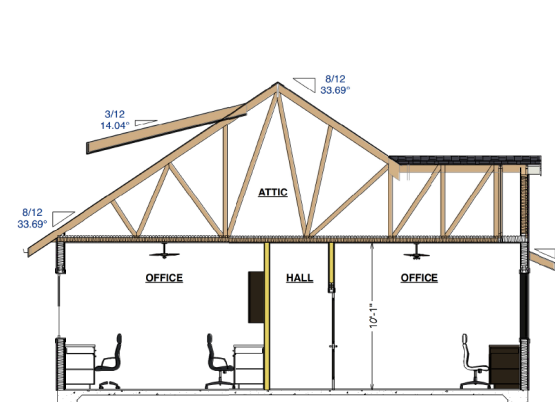
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TITLE SHEET 1 1-1
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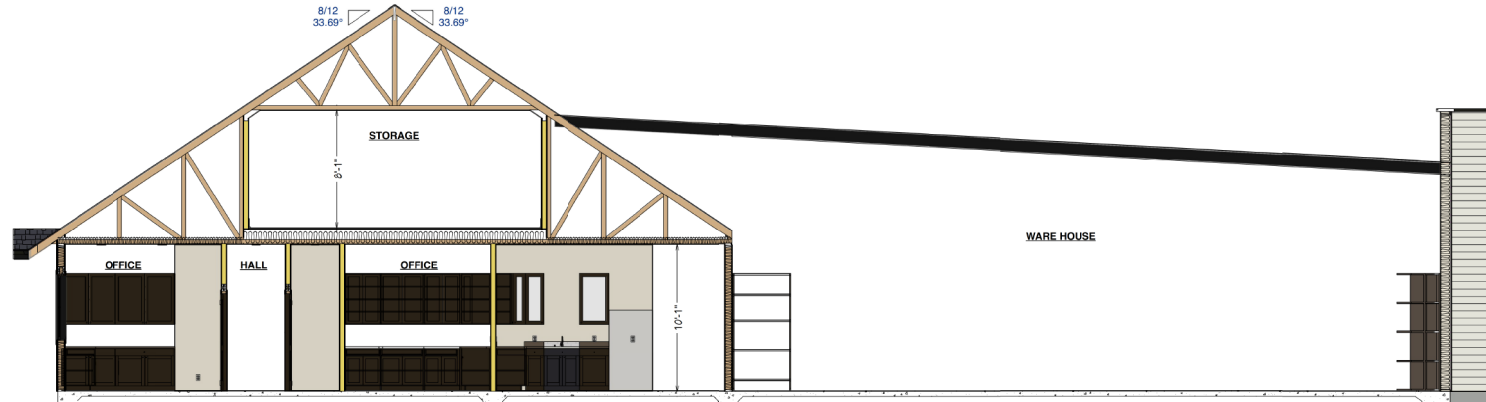
HVAC/ GAS LINE PLAN
SCALE: (1/4" = 1')



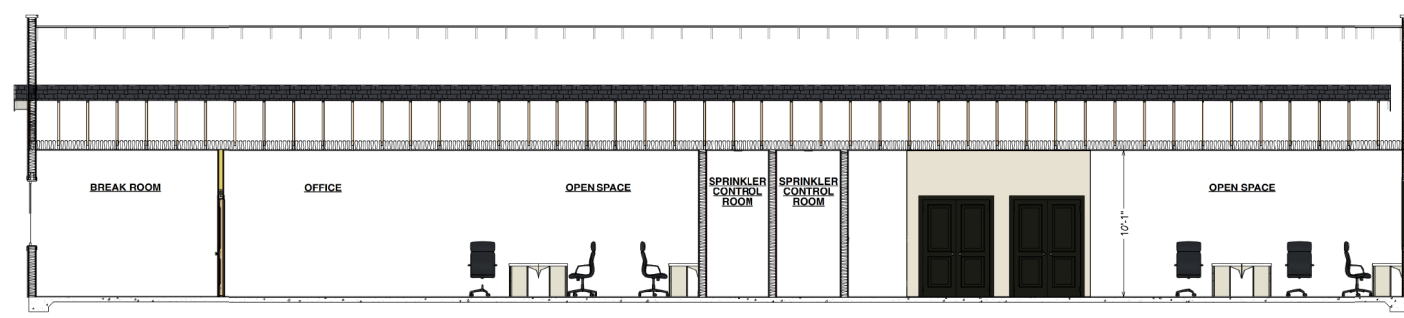
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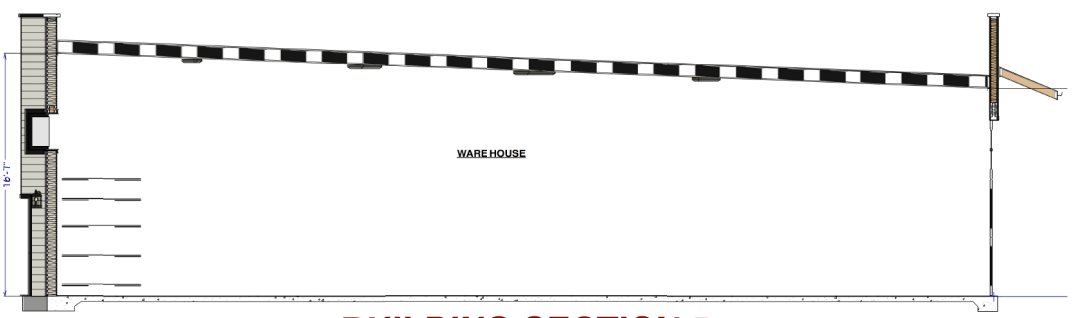
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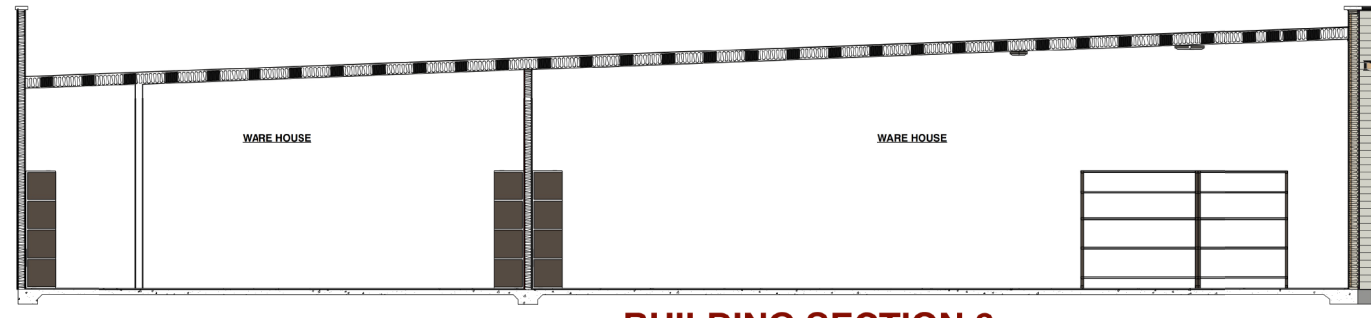
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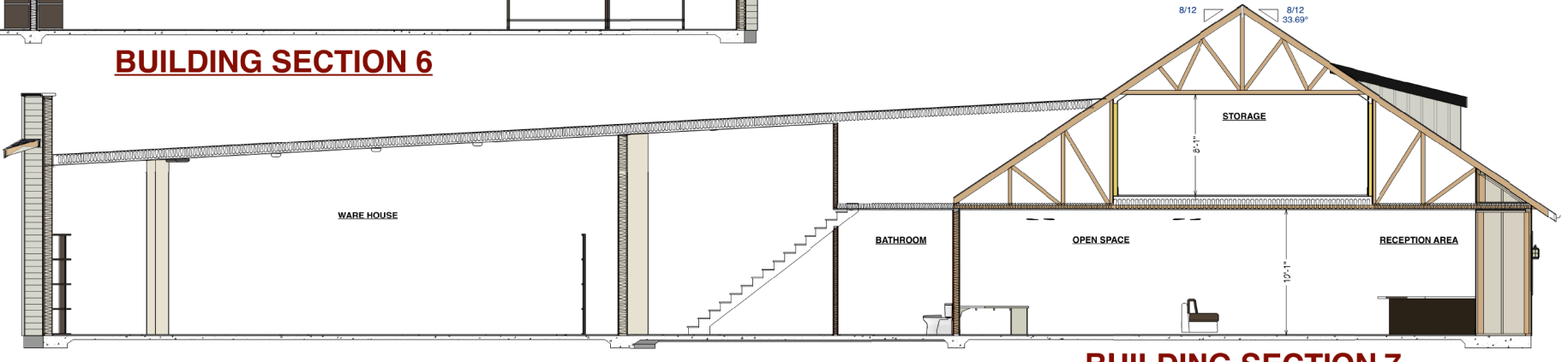
BUILDING SECTION 4



BUILDING SECTION 5



BUILDING SECTION 6



BUILDING SECTIONS SCALE: (1/4" = 1')

BUILDING SECTION 7

- BUILDING SECTIONS & ELEVATIONS 3/13/24**
- FOR WILDFIRE EXPOSURE ALL EXTERIOR MATERIALS (ROOFING) SHALL COMPLY WITH REQUIREMENTS OF CRC SECTION R327, CLASS A REQUIREMENT.
 - EXTERIOR WALL COVERINGS SHALL BE NONCOMBUSTIBLE. IGNITION RESISTANT HEAVY TIMBER, LOG WALL OR FIRE RESISTIVE CONSTRUCTION. WATER-RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER.
 - EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE FOUNDATION TO THE ROOF AND TERMINATE AT 2 INCH NOMINAL SOLID BLOCKING BETWEEN RAFTERS AND OVERHANGS.
 - WHEN STUCCO IS USED ON EXTERIOR, PLASTERING WITH GEMENT PLASTER SHALL BE IN ACCORDANCE WITH ASTM C926. PLASTER SHALL NOT BE LESS THAN THREE COATS WHERE APPLIED OVER METAL LATH OR WIRE LATH.
 - OPEN ENCLOSED ROOF EAVES AND SOFFITS, EXTERIOR PORCH CEILINGS, FLOOR PROJECTIONS, UNDERFLOOR AREAS AND UNDERSIDES OF APPENDAGES TO COMPLY WITH IGNITION RESISTANT CONSTRUCTION REQUIREMENTS.
 - SPACES CREATED BETWEEN ROOF COVERINGS AND ROOF DECKING SHALL BE FIRE STOPPED BY APPROVED MATERIALS OR HAVE ONE LAYER OF MINIMUM 72 LB MINERAL SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3009.
 - WHERE VALLEY FLASHING IS INSTALLED, THE FLASHING SHALL BE NOT LESS THAN 25AWG AND INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 72 LB MINERAL SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM3909 AND AT LEAST 36 INCHES WIDE RUNNING FULL LENGTH.
 - VENTILATION OPENINGS FOR ATTICS, GABLES, AND EAVES ABOVE 12FT, AND UNDER FLOOR VENTILATION SHALL BE PROVIDED WITH FULLY COVERED METAL WIRE MESH, VENTS, OR OTHER MATERIALS THAT MEET THE FOLLOWING DIMENSIONS OF THE OPENINGS SHALL BE A MINIMUM OF 1/8" AND SHALL NOT EXCEED 1/8". THE VENT MATERIAL SHALL BE NON-COMBUSTIBLE AND CORROSION RESISTANT. ALL OTHER EAVE VENTS SHALL BE LISTED/ APPROVED TO RESIST THE INTRUSION OF FLAME AND BURNING EMBERS.
 - BUILDING JOISTS WILL BE GRADED 2% FOR A MINIMUM OF 10' AWAY FROM STRUCTURE.
 - CONTINUOUS VENT STRIP IN ALL EAVES. CONTINUOUS RIDGE VENT AT ALL RIDGES TO MEET AND EXCEED CRC R906 (TYP).
 - A MINIMUM OF 8" CLEARANCE GRADE TO WOOD FRAMING AND SIDING PER CRC R317 (TYP).
 - FINISH GRADE 6" MINIMUM FALL WITHIN THE FIRST 10 FEET AWAY FROM ALL STRUCTURES.
 - CORROSION RESISTANT WEEP SCREED MINIMUM 4" ABOVE GRADE OR 2" ABOVE PAVED SURFACES.
 - EXTERIOR GLAZING SHALL HAVE A MINIMUM OF ONE-TEMPERED PANEL, GLASS BLOCK, HAVE A FIRE RESISTIVE RATING OF 20 MINUTES OR BE TESTE TO MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD.
 - ALL WINDOWS UNIFORMS ARE 0.32 SHGC 0.25
 - OPERABLE SKYLIGHTS SHALL BE PROTECTED BY NONCOMBUSTIBLE, MESH SCREEN 1/8" MAX OPENINGS
 - EXTERIOR DOORS INCLUDING GARAGE DOORS SHALL BE NONCOMBUSTIBLE, IGNITION RESISTANT MATERIAL, MINIMUM 1 5/8" INCH SOLID CORE, MINIMUM 20 MINUTE FIRE RESISTIVE RATING OR SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-A-1.
 - GARAGE DOOR PERMITTER GAP MAXIMUM 1/8", METAL FLASHING, JAMB AND HEADER OVERLAP, AND WEATHER-STRIPPING MEETING SECTION REQUIREMENTS ARE PERMITTED.
 - INSULATION VALUES ARE AS FOLLOWS: WALLS R-19 CEILING R-38 FLOORS R-19
 - RAIN GUTTERS AND DOWNSPOUTS PER CRC R881, CPC 1101.1 WITH APPROVED LEAF GUARD
 - THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10 FT OF GRADE LEVEL SHALL BE IGNITION RESISTANT MATERIAL, EXTERIOR FIRE-RETARDANT TREATED WOOD OR NONCOMBUSTIBLE MATERIAL.
 - VENT TERMINALS OF DIRECT-VENT APPLIANCES, EXIT TERMINALS, GAS VENTS, ETC. SHALL NOT BE LOCATED UNDER DECKS WHICH COULD BE SEALED OFF AROUND THE PERIMETER WITH SNOW ACCUMULATION.
 - UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM D226 TYPE I; ASTM D499 TYPE I, II, III OR IV; ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION.
 - A MINIMUM 0.019-INCH NO. 26 GALVANIZED SHEET (GAGE) CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3/16" SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.
 - VENT TERMINALS OF DIRECT-VENT APPLIANCES, EXIT TERMINALS, GAS VENTS, ETC. SHALL NOT BE LOCATED UNDER DECKS WHICH COULD BE SEALED OFF AROUND THE PERIMETER WITH SNOW ACCUMULATION.
 - THE EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILINGS SHALL BE NON-COMBUSTIBLE OR PROTECTED BY ONE OF THE FOLLOWING:
 - NONCOMBUSTIBLE MATERIAL
 - IGNITION-RESISTANT MATERIAL
 - ONE LAYER OF 5/8-INCH TYPE X GYPSUM SHEATHING BEHIND THE EXTERIOR COVER ON THE UNDERSIDE
 - 25 OF THE CEILING
 - THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE
 - UNDERSIDE OF THE CEILING ASSEMBLY
 - PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE TESTED TO ASTM E2957.6, PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE TESTED PER SFM STANDARD 12-7A.

SHEET: 17

D-14

LOVELAND PROPERTIES
 4625 PACIFIC ST.
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 dfo@designsbyfooster.com
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- STAIR AND GUARD RAIL NOTES 3/13/24**
- STAIRS SHALL COMPLY TO ALL LOCAL CODES AND ORDINANCES. AMINIMUM WIDTH OF 36" FINISH ON ALL STAIRS AND LANDINGS. PROVIDE APPROPRIATE SIMPSON BRACKETS OR HANGERS AT TOP AND BOTTOM OF STAIRS. WHERE STAIRS LAND ON CONCRETE, PROVIDE 2X6 PRESSURE TREATED SLEEPER AT BOTTOM W/3 16D SHOTS. STAIRWAYS SHALL HAVE RISERS WITH A MAXIMUM HEIGHT OF 7 3/4" & A MINIMUM OF TREAD DEPTH OF 10". A VARIATION OF NO MORE THAN 3/8" BETWEEN THE LARGEST AND SMALLEST REQUIRED. THE HANDRAIL HEIGHT MEASURED VERTICALLY FROM THE NOSE OF THE TREAD SHALL BE NOT LESS THAN 34" & NOT MORE THAN 38". OPEN HANDRAILS & GUARDRAILS AT STAIRS, LOFTS, BALCONIES AND OPEN SIDED WALKING SURFACES SHALL BE NOT LESS THAN 42" IN HEIGHT, WITH GUARDS SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH. HANDRAIL AND GUARD ASSEMBLIES SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, CRC TABLE 301.5. THE MINIMUM HEADROOM NEEDS TO BE 6'8" MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS.
 - HANDRAILS MAY PROJECT INTO THE REQUIRED 36" A MAXIMUM DISTANCE OF 3 1/2" FROM EACH SIDE OF STAIRWAY. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL.
 - THE HAND GRIP PORTION OF THE CIRCULAR HANDRAILS SHALL NOT BE LESS THAN 1 1/4" OR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION OR IF SQUARE THE SHAPE SHALL PROVIDE AN EQUIVALENT PERIMETER DIMENSION OF 4" MIN. TO 6 1/4" MAXIMUM AND A CROSS SECTION OF NOT MORE THAN 2 1/4". THE HAND GRIP PORTION OF THE HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS.
 - STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE FOR EVERY STAIRWELL 36" IN WIDTH OR GREATER, AND SHALL BE PROVIDED WITH NOT LESS THAN ONE INTERMEDIATE HANDRAIL FOR EACH 8' OF WIDTH.
 - PROVIDE 42" GUARDRAILS FOR DECKS, BALCONIES, PORCHES, LOFTS, LANDINGS, ETC. WHEN FINISHED FLOOR HEIGHT EXCEEDS 30" FROM FINISHED GRADE OR FINISHED FLOOR BELOW. ANY OPENINGS IN GUARDRAILS SHALL BE SPACE SUCH THAT A 4" SPHERE CANNOT PASS THROUGH.
 - ALL WALLS AND SOFFITS OF THE ENCLOSED STAIRWAY SPACE SHALL BE PROTECTED ON THE ENCLOSED SIDE AS REQUIRED FOR ONE HOUR FIRE-RESISTIVE CONSTRUCTION.
 - STAIR LANDING REQUIRED EVERY 127' OF VERTICAL RISE.
 - PROVIDE LANDINGS AT THE TOP/BOTTOM OF THE STAIRWAY THE WIDTH OF THE STAIRWAY. THE DEPTH OF THE LANDING SHALL BE 36" MINIMUM.

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City of Rocklin **Fire Prevention**
Fire Department
Fire Prevention

PREMISES IDENTIFICATION - POSTING OF BUILDING ADDRESSES

Scope:
This guideline provides the requirements for numerical address identification within the City of Rocklin to aid in first responder response.

References:
California Fire Code, Section 505.

Operational Standards:
Building address numbers shall be plainly visible and legible from the street or road fronting the building. Numbers shall contrast with their background and shall be either internally or externally illuminated so they can be easily seen from the street or road fronting the building.

When the front of the building does not face the street from which it is addressed, the sides of the building facing said street shall also have complying numbers. Building address numbers shall conform in accordance with the following minimum stroke and height table:

Distance from edge of Property Line and Road	Minimum Number Height	Minimum Stroke
0-50 feet	6 inch	1 inch
50-100 feet	8 inch	1.25 inch
100-150 feet	10 inch	1.75 inch
> 150 feet	12 inch	2 inch

Whenever monument signage is provided at entrances, the address number shall be in a dominant location approved by the Rocklin Fire Department. Monument signs at entrances that are not on the street from which the parcel is addressed shall also include the street name of the street used for addressing. Address numbers on the monument signs shall contrast with their background and shall be either internally or externally illuminated so they can be easily seen from the street. Monument signs, or some other method acceptable to the Fire Chief, shall be provided in addition, not in lieu of, the posting of the address number on the building.

All apartment, condominium, mobile home, and commercial building complex projects with multiple buildings shall have a monument sign with the street address at each vehicle entrance to the site. Each vehicle entrance shall also have a directory sign showing all buildings and access roads with approved building numbers shown. Each building shall have signage with the approved building numbers facing the related access road.

Numbering on buildings shall not be obstructed by trees, exterior walls or any other object which would hinder the view of the numbers. If an obstruction is present, it shall either be removed or the numbering shall be relocated to a visible location.

In buildings with multiple suites or businesses, the individual suites or businesses shall also be clearly identified by placing the suite number over, or on, the main entry/exit door. The address shall be clearly visible and of a contrasting color to the background. Rear doors and other doors leading into the suite shall also be identified with the address in the same manner.

FIRE DEPARTMENT CONNECTIONS (FDC):
Address numbers are required on the fire department connection to identify which building the FDC serves. The address shall be painted on the FDC in reflective white paint with a minimum size of 3" high numbers.

City of Rocklin **Fire Prevention**
Fire Department
Fire Prevention

FIRE CONTROL ROOM STANDARD

Scope:
This guideline provides the construction requirements for fire control rooms in commercial buildings pursuant to Section 901.4.7 of the 2022 California Fire Code. For the purposes of this guideline, certain terms are defined as follows:

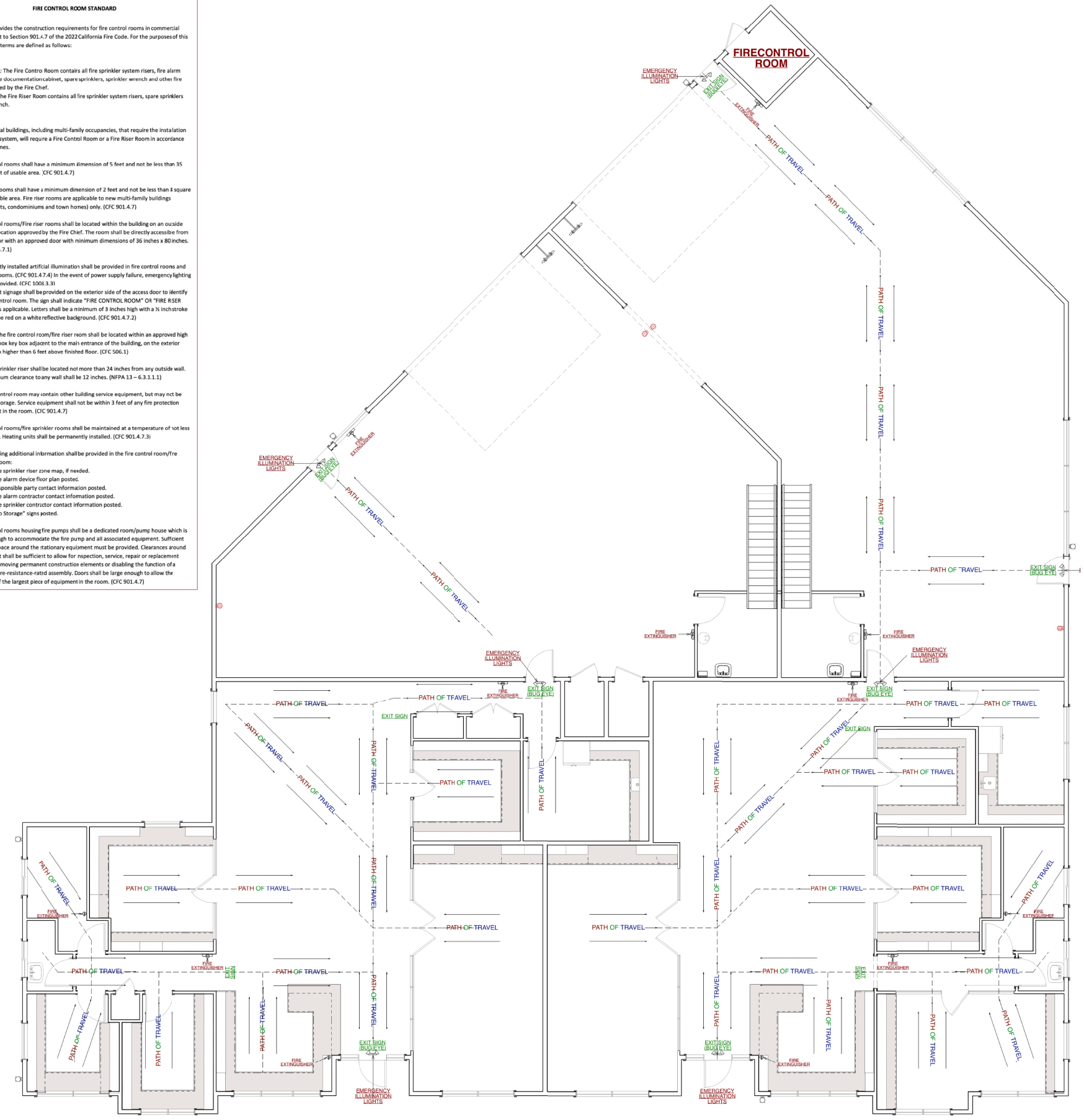
Definitions:
Fire Control Room: The Fire Control Room contains all fire sprinkler system risers, fire alarm control panels, the documentation cabinet, spare sprinklers, sprinkler wrench and other fire equipment required by the Fire Chief.
Fire Riser Room: The Fire Riser Room contains all fire sprinkler system risers, spare sprinklers and sprinkler wrench.

Specifications:
All new commercial buildings, including multi-family occupancies, that require the installation of a fire sprinkler system, will require a Fire Control Room or a Fire Riser Room in accordance with these guidelines.

- Fire control rooms shall have a minimum dimension of 5 feet and not be less than 35 square feet of usable area. (CFC 901.4.7)
- Fire riser rooms shall have a minimum dimension of 2 feet and not be less than 8 square feet in usable area. Fire riser rooms are applicable to new multi-family buildings (apartments, condominiums and town homes) only. (CFC 901.4.7)
- Fire control rooms/Fire riser rooms shall be located within the building on an outside wall at a location approved by the Fire Chief. The room shall be directly accessible from the exterior with an approved door with minimum dimensions of 36 inches x 80 inches. (CFC 901.4.7.1)
- Permanently installed artificial illumination shall be provided in fire control rooms and fire riser rooms. (CFC 901.4.7.4) In the event of power supply failure, emergency lighting shall be provided. (CFC 1001.3.3)
- Permanent signage shall be provided on the exterior side of the access door to identify the fire control room. The sign shall indicate "FIRE CONTROL ROOM" OR "FIRE RISER ROOM", as applicable. Letters shall be a minimum of 3 inches high with a 1/8 inch stroke and shall be red on a white reflective background. (CFC 901.4.7.2)
- A key for the fire control room/fire riser room shall be located within an approved high security Knox key box adjacent to the main entrance of the building, on the exterior wall, at no higher than 6 feet above finished floor. (CFC 506.1)
- The fire sprinkler riser shall be located not more than 24 inches from any outside wall. The minimum clearance to any wall shall be 12 inches. (NFPA 13 - 6.3.1.1)
- The fire control room may contain other building service equipment, but may not be used for storage. Service equipment shall not be within 3 feet of any fire protection equipment in the room. (CFC 901.4.7)
- Fire control rooms/fire sprinkler rooms shall be maintained at a temperature of not less than 40° F. Heating units shall be permanently installed. (CFC 901.4.7.3)
- The following additional information shall be provided in the fire control room/fire sprinkler room:
 - Fire sprinkler riser zone map, if needed.
 - Fire alarm device floor plan posted.
 - Responsible party contact information posted.
 - Fire alarm contractor contact information posted.
 - Fire sprinkler contractor contact information posted.
 - "No Storage" signs posted.
- Fire control rooms housing fire pumps shall be a dedicated room/pump house which is large enough to accommodate the fire pump and all associated equipment. Sufficient working space around the stationary equipment must be provided. Clearances around equipment shall be sufficient to allow for inspection, service, repair or replacement without removing permanent construction elements or disabling the function of a required fire-resistance-rated assembly. Doors shall be large enough to allow the removal of the largest piece of equipment in the room. (CFC 901.4.7)

FIRE AND LIFE SAFETY NOTES 3/13/24

- FIRE APPARATUS ACCESS LANE SHALL REMAIN UNOBSTRUCTED AT ALL TIMES.
- GATES INSTALLED ACROSS FIRE APPARATUS ACCESS LANES REQUIRE A SEPARATE SUBMITTAL AND PERMIT.
- PRIOR TO FINAL, A LETTER FROM AN ENGINEER INDICATING THAT THE ENTIRE LENGTH AND WIDTH OF THE FIRE APPARATUS ACCESS LANE CAN SUPPORT 80,000 LBS IN ALL WEATHER CONDITIONS SHALL BE PROVIDED.
- REFLECTIVE OR ILLUMINATED CONTRASTING COLOR ADDRESS NUMBERS VISIBLE FROM BOTH DIRECTIONS OF APPROACH SHALL BE PROVIDED AT THE DRIVEWAY ENTRANCE. MINIMUM 6 INCH ILLUMINATED ADDRESS NUMBERS SHALL BE PROVIDED ON THE STREET FACING SIDE OF THE RESIDENCE.
- NEW PROPANE TANKS OR MODIFICATIONS TO EXISTING PROPANE TANKS REQUIRE A SEPARATE SUBMITTAL AND PERMIT. PROPANE SUBMITTALS NOT STAMPED BY THE INSTALLING CONTRACTOR WILL NOT BE ACCEPTED. FILLING OF PROPANE TANKS SHALL NOT BE DONE PRIOR TO APPROVAL OF PROPANE TANK PLANS.
- FUTURE GUEST HOUSES, POOL HOUSES, IN-LAW QUARTERS (ADU'S) ETC. ARE CLASSIFIED AS ACCESSORY TO R-3 AND REQUIRE INSTALLATION OF FIRE SPRINKLERS.
- GROUND MOUNT AND ROOFTOP MOUNTED SOLAR SYSTEMS HAVING BATTERY BACKUP REQUIRE A SEPARATE SUBMITTAL AND PERMIT.



FIRE SAFETY PLAN
SCALE: (1/4" = 1')

SHEET: 18

F-1

LOVELAND PROPERTIES
 4625 PACIFIC ST.
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 designsbyfostrer@gmail.com
 (916) 559-5984

FIRE SAFETY PLAN

PERMIT #
??????????

SCALE:

DATE:
3/13/24

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RENDERINGS
NOT TO SCALE



RENDERINGS
NOT TO SCALE



RENDERINGS
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