

CITY COUNCIL RESOLUTION 2019-235

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKLIN RECOMMENDING  
APPROVAL OF A TENTATIVE SUBDIVISION MAP

(Cobblestone Subdivision / SD2017-0005)

The City Council of the City of Rocklin does resolve as follows:

Section 1. The City Council of the City of Rocklin finds and determines that:

A. The Tentative Subdivision Map (SD2017-0005) allows the subdivision of an approximately 5.5 acre site into 40 single family residential lots, nine lettered lots to be HOA maintained, associated public streets, and related on- and off-site improvements. APNs 010-470-003, -008, -021, and -023.

B. A Mitigated Negative Declaration for this project has been recommended for approval via City Council Resolution No. 2019-232.

C. The City Council has considered the effect of the approval of this subdivision on the housing needs of the region, and has balanced those needs against the public service needs of its residents and available fiscal and environmental resources.

D. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the zoning classification on the property.

E. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the objectives, policies and programs in the City of Rocklin's General Plan.

F. The site is physically suitable for the proposed type and density of development.

G. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage, nor will they substantially and avoidably injure fish or wildlife or their habitat.

H. The design of the subdivision and type of improvements will not cause serious public health problems.

I. The design of the subdivision and type of improvements will not conflict with easements acquired by the public at large for access through or use of the property within the proposed subdivision.

J. The design of the subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

Section 2. The Cobblestone Tentative Subdivision Map (SD2017-0005) as depicted in Exhibit A attached hereto and by this reference incorporated herein, is hereby recommended for approval of the City Council, subject to the conditions listed below. The approved Exhibits A shall govern the design and construction of the project. Any condition directly addressing an element incorporated into Exhibits A shall be controlling and shall modify Exhibits A. All other plans, specifications, details, and information contained within Exhibits A shall be specifically applicable to the project and shall be construed as if directly stated within the conditions for approval. Unless otherwise expressly stated, the applicant / developer shall be solely responsible for satisfying each condition, and each of these conditions must be satisfied prior to or concurrently with the submittal of the final map with the City Engineer for the purpose of filing with the City Council. The agency and / or City department(s) responsible for ensuring implementation of each condition is indicated in parenthesis with each condition.

A. Notice to Applicant of Fees & Exaction Appeal Period

The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code §66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations, and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of Government Code §66020, the applicant will be legally barred from later challenging such exactions.

B. Conditions

1. Utilities

- a. Water – Water service shall be provided to the subdivision from Placer County Water Agency (PCWA) in compliance with all applicable PCWA standards and requirements. PCWA shall verify ability to serve the subdivision by signing off on the subdivision improvement plans. All necessary easements shall be shown and offered (or Irrevocable Offer of Dedication provided) on or with the final map. All necessary improvements shall be included on the subdivision improvement plans. (PCWA, ENGINEERING)

- b. Sewer – Sewer service shall be provided to the subdivision from South Placer Municipal Utility District (SPMUD) in compliance with all applicable SPMUD standards and requirements. SPMUD shall verify ability to serve the subdivision by signing off on the subdivision improvement plans. All necessary easements shall be shown and offered (or Irrevocable Offer of Dedication provided) on or with the final map. All improvements shall be included on the subdivision improvement plans. (SPMUD, ENGINEERING)
- c. Telephone, Gas, and Electricity – Telephone, gas, and electrical service shall be provided to the subdivision from AT&T and Pacific Gas & Electric (PG&E). (APPLICABLE UTILITY, ENGINEERING)
- d. Postal Service – Mailbox locations shall be determined by the local postmaster. A letter from the local postmaster verifying all requirements have been met shall be filed with the City Engineer. (ENGINEERING)
- e. Prior to recordation of final map, the project shall be included in the appropriate City financing districts as needed to most efficiently provide for public maintenance of public improvements and provision of new or enhanced services such as street lighting to the satisfaction of the City Finance Manager. (FINANCE, ENGINEERING, PUBLIC WORKS)

It is anticipated that the following will be necessary:

De-annexation from: Lighting & Landscaping District 1 (LLD#1)

Annexation into: CFD No. 1 (CFD#1) and CFD No. 5 (CFD#5)

## 2. Schools

At the time of issuance of a building permit, the developer shall pay to the Rocklin Unified School District all fees required under Education Code section 17620 and Government Code Section 65995, to the satisfaction of the Rocklin Unified School District.

## 3. Fire Service

- a. Proposed street names shall be reviewed and approved by the Rocklin Fire Chief. (ENGINEERING, FIRE)
- b. Improvement plans shall show the location and size of fire hydrants and water mains in conformance with the standards and requirements of the Rocklin Fire Chief and PCWA. (PCWA, ENGINEERING, FIRE)

- c. Improvement plans shall reflect a looped water supply main to the satisfaction of the Rocklin Fire Chief and PCWA. (PCWA, ENGINEERING, FIRE)

4. Improvements/Improvement Plans

Prior to any grading, site improvements, or other construction activities associated with this project improvement plans shall be prepared consistent with the exhibits and conditions incorporated as a part of this entitlement, and in compliance with all applicable city standards, for the review and approval of the City Engineer.

Improvement plans shall be valid for a period of two years from date of approval by the City Engineer. If substantial work has not been commenced within that time, or if the work is not diligently pursued to completion thereafter, the City Engineer may require the improvement plans to be resubmitted and/or modified to reflect changes in the standard specifications or other circumstances.

All improvements shall be constructed and/or installed prior to submitting the final map with the City Engineer for the purpose of filing with the City Council, unless the subdivider executes the City's standard form subdivision improvement agreement and provides the financial security and insurance coverage required by the agreement, prior to or concurrent with submitting the final map with the City Engineer.

The project improvement plans shall include the following:  
(ENGINEERING, PLANNING, PUBLIC SERVICES)

- a. A complete copy of the project's conditions of approval as contained in the final resolution of approval.
- b. A detailed grading and drainage plan prepared by a registered civil engineer, in substantial compliance with the approved project exhibit(s) and in accord with the City of Rocklin Post-Construction Manual. The grading and drainage plan shall include the following:
  - i. Stormwater Management
    - A) Prior to issuance of improvement plans, to ensure compliance with the National Pollutant Discharge Elimination System MS4s General Permit and the regulations and orders of the State Water Resources Control Board, the applicant shall prepare and implement a Stormwater Management Facility Operation and Maintenance Plan for the on-site treatment systems and

hydromodification controls, if any, or acceptable alternative to the satisfaction of the City Engineer. All specified treatment systems and hydromodification controls shall be privately owned and maintained. (BUILDING, PUBLIC SERVICES)

- B) Prior to issuance of improvement plans, unless waived by the City Engineer or the Environmental Services Manager, the developer shall grant a Stormwater Management Compliance Easement over the project site to the City of Rocklin, in a form acceptable to the City Attorney. The Stormwater Management Compliance Easement shall be recorded with the County Clerk's office and a copy of the recorded document shall be provided to the Environmental Services division. Said easement shall provide for the following: (CITY ATTORNEY, BUILDING, PUBLIC SERVICES)
- 1) Grant site access to City employees for the purpose of performing operations and maintenance inspections of the installed treatment system(s) and hydromodification control(s), if any.
  - 2) Grant site access to City employees for the purpose of performing operations and maintenance work on the installed treatment system(s) and hydromodification control(s), if any, in the event that that the Director of Public Services determines, based upon the inspection results, that said work is not being performed adequately and has or will compromise the system's ability to function as required.
  - 3) A statement that the City may, at its option, cause the operational and maintenance responsibilities set forth in the Stormwater Management Facility Operation and Maintenance Plan to be performed and place a special assessment against the project site to recover the costs to the City in the event the project is not operated and maintained in accord with the approved Stormwater Management Facility Operation and Maintenance Plan. (RMC §8.30.150).
- C) All storm drainage inlets shall be stamped with City Engineer approved wording indicating that dumping of

waste is prohibited and identifying that the inlets drain into the creek system.

- D) Site design measures for detaining run off at pre-development levels, including location and specifications of oversized pipes, on-site or off-site detention basins, if any, or other acceptable methods.
- E) Individual lot drainage management areas including individual drainage features, such as lined drainage swales.
- F) Prior to any on- or off- site grading or construction activities, including issuance of improvement plans, for any phase of the project, a Storm Water Management plan for preventing noncompliant storm water runoff at all times but especially during the rainy seasons shall be incorporated into the improvement plans. The Storm Water Management plan shall also cover the time period of the project after the subdivision improvements are installed and construction of the houses commences on disturbed soils. The Storm Water Management plan shall be prepared by a qualified storm water management professional.
- G) Prior to any grading or construction activities, the subdivider shall obtain a General Construction Activity Storm Water Permit as a part of the National Pollutant Discharge Elimination System (NPDES) permit process from the Regional Water Quality Control Board.
- H) Prior to any on or off- site grading or construction activities, including issuance of improvement plans for any phase of the project, the subdivider shall provide verification to the City Engineer that a qualified storm water management professional has been retained and is available to monitor construction activities and provide written reports to the City. This notification shall include name(s) and 24 hour contact information. The storm water management professional shall be present on site at all times necessary when work is occurring during the grading, trenching, and building construction phases (if homes to be built by subdivider) of the project in order to observe, assess, and direct on site storm water management. The storm water management professional shall also monitor

the work site on a regular basis even when no construction activities are occurring to ensure that installed water quality and Best Management Practice devices or improvements are installed and functioning properly. The storm water management professional shall monitor the site prior to, during, and after any storm events.  
(ENGINEERING)

- ii. The developer shall prepare a Storm Water Pollutant Protection Plan (SWPPP) for review and approval by the State Regional Water Quality Control Board as part of the project's drainage improvement plans.
- iii. Prior to the commencement of grading operations, and if the project site will not balance with respect to grading, the contractor shall identify the site where any excess earthen material shall be deposited. If the deposit site is within the City of Rocklin, the contractor shall submit a report issued by a technical engineer to verify that the exported materials are suitable for the intended fill and show proof of all approved grading plans. Haul routes to be used shall be specified. If the site requires importing of earthen material, then prior to the commencement of grading operations, the contractor shall identify the site where the imported earthen material is coming from and the contractor shall submit a report issued by a technical engineer to verify that the imported materials are suitable for the intended fill and show proof of all approved grading plans. Haul routes to be used shall be specified.
- iv. If at any time during the course of grading or construction activities evidence of the existence of old wells, septic systems or other similar features or any other evidence of soil and/or groundwater contamination with hazardous material is encountered, work shall be halted within 100 feet of the find and the City of Rocklin Engineer shall be notified. The City Engineer shall make a determination as to the nature of the feature(s) and/or contamination, the appropriate size for a buffer around the feature beyond which work could continue on the balance of the site, and which outside agencies, if any, should be notified and involved in addressing and / or remediation of the feature or contamination. At the discretion of the City Engineer and at the applicant's expense, a qualified consultant(s) shall be retained to assess and characterize the feature or contamination and to determine appropriate remediation, if any. Remediation of the feature including obtaining any special permits and/or approvals

as needed shall be completed and documented to the satisfaction of the City Engineer and any responsible agencies, such as but not limited to the Placer County Department of Environmental Health, and the Central Valley Regional Water Quality Control Board, prior to completion of grading / construction in the affected area.

- c. All on-site standard improvements, including but not limited to:
  - i. Paving, curbs (including concrete curbs to contain all landscape areas adjacent to vehicle parking areas or travel lanes and at back of sidewalk adjacent to stormwater facilities), gutters, sidewalks, drainage improvements, irrigation improvements (main lines and distribution where located under paved areas), utility improvements, street lights, fire hydrants}, retaining walls, sound walls, fences, pilasters, enhanced pavement treatments, etc.
  - ii. All necessary easements for drainage, access, utilities, etc. shall be shown and offered for dedication (or Irrevocable Offer of Dedication provided) with the improvement plans.
  - iii. To the extent possible underground facilities such as but not limited to electrical, gas, water, drainage, and irrigation lines shall be located outside of or to the edge of areas designated for landscaping so as to minimize impacts to the viability of these areas.
- d. Provisions for detaining run off at pre-development levels including the location(s) and specifications of on-site or off-site detention basins, if any.
- e. A signing and striping plan in substantial compliance with Exhibit A to provide the following:
  - i. Fire lanes;
  - ii. On-street parking (small brackets to delineate spaces);
  - iii. A sign near the Sunset Boulevard entrance to specify 'no truck entry over 10,000 lbs. empty weight—exit only' or similar to discourage commercial deliveries to the existing commercial center from entering on Road A, to the satisfaction of the City Engineer;
  - iv. Signs at the entries to Road A and to Road D to specify they are public streets;



f. The following subdivision improvements shall be designed, constructed, and/or installed, to the satisfaction of the City Engineer, Public Services Director and/or Community Development Director:

i. The following on-site special improvements:

A) A minimum six foot tall or greater height, as required by the project's noise study, masonry sound wall with pilasters, in substantial compliance with Exhibit A. The sound wall shall be split face, with contrasting decorative concrete cap. Pilasters shall have a stone veneer and decorative concrete cap, and be located at wall ends and changes in direction/corners, and shall match the pilasters in the Quarry Place Apartments perimeter fence.

The masonry wall shall be constructed on the private landscape lots, out of the PUE, along Sunset Boulevard, and on Lot C adjacent to Lots 1 and 2. On Lots C and H, the masonry wall and pilaster shall not extend beyond the front setbacks on Lots 1 and 31, respectively. Improvement plans shall detail how the new wall/pilaster transitions to the existing concrete wall on the neighboring Lyn Roc apartments site (APN 046-010-062) and to other on-site walls and fences, as needed. (PLANNING, ENGINEERING)

B) A six foot tall enhanced wood, or approved equal, privacy fence with concealed metal posts, in substantial compliance with Exhibit A, at the following locations. The pilasters shall be substantially similar to Exhibit A and match the pilasters in the Quarry Place Apartments perimeter tubular steel fence. (PLANNING, ENGINEERING)

1) On the retaining wall along the shared property boundary with the apartments (Lots 3 through 14).

2) On Lots E and F adjacent to Lots 14 and 15. Said fences shall be reduced to 30 inches in height within the front setback areas of the residential lots. Pilasters, as shown in Exhibit A, shall be constructed outside of the existing public utility easement (PUE).

- 3) On Lot I along the shared property boundary with the adjacent existing commercial. Masonry pilasters shall be constructed outside of any PUE.
- C) If fencing or a barricade is necessary within the stormwater treatment landscape lots for safety or to protect the facilities, said fence or barricade design and materials shall be reviewed and approved by the Community Development Director.
- D) Decorative paving, stamped colored asphalt or approved equal in shall be installed at the following locations in substantial compliance with Exhibit A:
  - i. Road A and Sunset Boulevard;
  - ii. Road D and Woodside Drive;
  - iii. The terminus of Road A at the retail parking lot (The decorative paving at this transition shall be wider than shown in Exhibit A, so as not to be confused to be a crosswalk. (ENGINEERING, PLANNING, PUBIC SERVICES)
- E) A sign shall be installed at the terminus of Road A at the retail parking lot indicating “Begin / End Public Street” or equivalent to the satisfaction of the City Engineer.
- F) Quarry District standard Hapco, or approved equal, street lights.
- iii. The following off-site improvements:
  - A) The existing landscape median in Sunset Boulevard shall be reconfigured to provide for a left turn pocket to access the main entrance to the subdivision (Road A). The final design of the left turn pocket and remaining median shall be to the satisfaction of the City Engineer and Public Services Director. (ENGINEERING, PUBLIC SERVICES)
  - B) Frontage improvements on Woodside Drive/Ruhkala Road, including curb, gutter, and sidewalk. (ENGINEERING, PUBLIC SERVICES)
- g. Landscape and irrigation plans for all private landscape parcels (Lots A through I), the narrow strip of public right-of-way along Sunset Boulevard, and the City-maintained median in public Road A shall be

included with the project improvement plans and shall comply with the following: (ENGINEERING, PLANNING)

- i. Landscaping shall be installed in Landscape Lots A through I, consistent with Exhibit A.
- ii. The landscaping plan shall be prepared by a landscape architect and shall include:
  - A) A legend of the common and botanical names of specific plant materials to be used. The legend should indicate the size of plant materials. Shrubs shall be a minimum 5 gallon and trees a minimum of 15 gallon and meet the minimum height specified by the American Standards for Nursery Stock.
  - B) A section diagram of proposed tree staking, utilizing metal posts.
  - C) An irrigation plan including an automatic irrigation system. The plan shall include drip irrigation wherever possible.
  - D) Use of granite or moss rock boulders along the planting areas adjacent to public streets.
  - E) Certification by the landscape architect that the landscape plans meets the requirements of the Water Conservation in Landscaping Act. Government Code §65591, et seq.
  - F) Certification by the landscape architect that the soil within the landscape area is suitable for the proposed landscaping and / or specify required soil treatments and amendments needed to ensure the health and vigor of landscape planting.
- iii. All landscaping improvements shall be constructed and/or installed prior to submitting the final map for filing with the City Council, unless the subdivider executes the City's standard form subdivision landscaping agreement and provides the financial security and insurance coverage required by the subdivision landscaping agreement, prior to or concurrent with submitting the final map.
- h. All rights-of-way and easements associated with the subdivision improvements shall be offered on, or by separate instrument

concurrently with, the final subdivision map; provided, that street rights-of-way shall be offered by means of an irrevocable offer of dedication (IOD). (ENGINEERING)

- i. Notes addressing conformance with the development standards and requirements of the City of Rocklin shall be included on the improvement plans, including but not limited to the following: (ENGINEERING)
  - i. Prior to commencement of grading, the developer shall submit a Construction Emission / Dust Control Plan for approval by the City Engineer and the Placer County Air Pollution Control District. This plan must address how the project meets the minimum requirements of sections 300 and 400 of Rule 228-Fugitive Dust.
  - ii. Any diesel powered equipment used during project construction shall be Air Resources Board (ARB) certified.
  - iii. The prime contractor shall submit to the Placer County Air Quality Control District a comprehensive inventory (e.g., make, model, year, emission rating) of all the heavy-duty off-road equipment (50 horsepower or greater) that will be used in aggregate of 40 or more hours for the construction project. If any new equipment is added after submission of the inventory, the prime contractor shall contact the District prior to the new equipment being utilized. At least three business days prior to the use of subject heavy-duty off-road equipment, the project representative shall provide the District with the anticipated construction timeline including start date, name, and phone number of the property owner, project manager, and on-site foreman.
  - iv. Construction equipment exhaust emissions shall not exceed Placer County APCD Rule 202 Visible Emission limitations. Operators of vehicles and equipment found to exceed opacity limits are to be immediately notified by APCD to cease operations and the equipment must be repaired within 72 hours.
  - v. Processes that discharge 2 pounds per day or more of air contaminants, as defined by California State Health and Safety Code Section 39013, to the atmosphere may require a permit. Developers / Contractors should contact the Placer County Air Pollution Control District prior to construction or use of equipment and obtain any necessary permits.
  - vi. During construction, the contractor shall minimize idling time to a maximum of 5 minutes for all diesel powered equipment.

- vii. Traffic speeds on all unpaved road surfaces shall be posted at 15 mph or less.
- viii. During construction the contractor shall utilize existing power sources (e.g., power poles) or clean fuel (e.g., gasoline, biodiesel, natural gas) generators to minimize the use of temporary diesel power generators.
- ix. All construction equipment shall be maintained in clean condition.
- x. The prime contractor shall be responsible for keeping adjacent public thoroughfares clean of silt, dirt, mud, and debris, and shall “wet broom” the streets (or use another method to control dust as approved by the City) if silt, dirt mud or debris is carried over to adjacent public thoroughfares.
- xi. If fill dirt is brought to or exported from the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
- xii. All grading operations shall be suspended when fugitive dust emissions exceed Placer County Air Pollution Control District Rule 228-Fugitive Dust limitations. The prime contractor shall be responsible for having an individual who is CARB-certified to perform Visible Emissions Evaluations (VEE). This individual shall evaluate compliance with Rule 228 on a weekly basis.
- xiii. Fugitive dust emissions shall not exceed 40% opacity and shall not go beyond the property boundary at any time. If lime or other drying agents are utilized to dry out wet grading areas, the developer shall ensure such agents are controlled so as not to exceed District Rule 228-Fugitive Dust limitations.
- xiv. The prime contractor shall suspend all grading operations when wind speeds (including instantaneous gusts) are excessive and dust is impacting adjacent properties.
- xv. Water shall be applied to control fugitive dust, as needed, to prevent impacts offsite. Operational water trucks shall be onsite to control fugitive dust. Construction vehicles leaving the site shall be cleaned to prevent dust, silt, mud, and dirt from being released or tracked off-site.
- xvi. In order to minimize wind driven dust during construction, the prime contractor shall apply methods such as surface

stabilization, establishment of a vegetative cover, paving, (or use another method to control dust as approved by the City).

- xvii. Open burning of any kind shall be prohibited. All removed vegetative material shall be either chipped on site or taken to an appropriate recycling site, or if a site is not available, a licensed disposal site.
  - xviii. Chemical soil stabilizers, vegetative mats, or other appropriate best management practices, in accordance with manufacturers' specifications, shall be applied to all-inactive construction areas (previously graded areas which remain inactive for 96 hours).
  - xix. All exposed surfaces shall be revegetated as quickly as feasible.
- j. The following cultural resource condition shall be included in the project notes on the improvement plans, to the satisfaction of the City Engineer:

If an inadvertent discovery of cultural materials (e.g., unusual amounts of shell, charcoal, animal bone, bottle glass, ceramics, burned soil, structure/building remains) is made during project-related construction activities, ground disturbances in the area of the find shall be halted and a qualified professional archaeologist, the Environmental Services Manager and the Native American Heritage Commission shall be notified regarding the discovery. The archaeologist shall determine whether the resource is potentially significant as per CEQA (i.e., whether it is a historical resource, a unique archaeological resource, or a unique paleontological resource) and shall develop specific measures to ensure preservation of the resource or to mitigate impacts to the resource if it cannot feasibly be preserved in light of costs, logistics, technological considerations, the location of the find, and the extent to which avoidance and/or preservation of the find is consistent or inconsistent with the design and objectives of the project. Specific measures for significant or potentially significant resources would include, but are not necessarily limited to, preservation in place, in-field documentation, archival research, subsurface testing, and excavation. The specific type of measure necessary would be determined according to evidence indicating degrees of resource integrity, spatial and temporal extent, and cultural associations, and would be developed in a manner consistent with CEQA guidelines for preserving or otherwise mitigating impacts to archaeological and cultural artifacts.

In the event of the accidental discovery or recognition of any human remains, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human

remains, until compliance with the provisions of Sections 15064.5 (e)(1) and (2) of the CEQA Guidelines, as well as Public Resources Code Section 5097.98, has occurred. If any human remains are discovered, all work shall stop in the immediate vicinity of the find and the County Coroner shall be notified, according to Section 7050.5 of the California Health and Safety Code. The City's Environmental Services Manager shall also be notified. If the remains are Native American, the Coroner will notify the Native American Heritage Commission, which in turn will inform a most likely descendant. The descendant will then recommend to the landowner appropriate disposition of the remains and any grave goods, and the landowner shall comply with the requirements of AB2641 (2006). {MM V.-1} (PLANNING, ENGINEERING)

- k. The following biological resource condition shall be included in the project notes on the improvement plans, to the satisfaction of the City Engineer:

The applicant/developer shall attempt to time the removal of potential nesting habitat for raptors and migratory birds to avoid the nesting season (February 1 – September 15).

If grading/construction activities occur during the nesting season for raptors and migratory birds (February 1 – September 15), the City and/or contractor shall hire a qualified biologist approved by the City to conduct pre-construction surveys no more than 14 days prior to initiation of grading/construction activities. The survey shall cover all areas of suitable nesting habitat within 500 feet of project activity and shall be valid for one construction season. Prior to the start of grading/construction activities, documentation of the survey shall be provided to the City of Rocklin Community Development Department and if the survey results are negative, no further mitigation is required and necessary structure removal may proceed. If there is a break in grading/construction activities of more than 14 days, then subsequent surveys shall be conducted.

If the survey results are positive (active nests are found), impacts shall be avoided by the establishment of appropriate buffers. The biologist shall consult with the California Department of Fish and Wildlife (CDFW) and the City to determine the size of an appropriate buffer area (CDFW guidelines recommend implementation of 500-foot buffers). Monitoring of the nest by a qualified biologist may be required if the activity has the potential to adversely affect an active nest.

If grading/construction activities are scheduled to occur during the non-breeding season (September 16 – January 31), a survey is not required

and no further studies are necessary. {MM IV.-1} (PLANNING, ENGINEERING)

- l. If blasting activities are to occur in conjunction with site development, the contractor shall conduct the blasting activities in compliance with State and local regulations. The contractor shall obtain a blasting permit from the City of Rocklin prior to commencing any blasting activities. Information submitted to obtain a blasting permit shall include a description of the work to be accomplished and a statement of necessity for blasting as opposed to other methods considered, including avoidance of hard rock areas, safety measures to be implemented, such as blast blankets, and traffic groundshaking impacts. The contractor shall coordinate any blasting activities with police and fire departments to ensure proper site access control, traffic control, and public notification including the media and affected residents and businesses, as appropriate. Blasting specifications and plans shall include a schedule that outlines the time frame that blasting will occur to limit noise and traffic inconveniences.
- m. Prior to any grading or construction activities including issuance of improvement plans, the developer shall submit a design-level soil investigation for the review and approval of the City Engineer and Chief Building Official that evaluates soil and rock conditions, particularly the potential for expansive soils. The professional engineer that prepared the soil investigation shall recommend appropriate roadway construction and foundation techniques and other best practices that are to be implemented by the project during construction. These techniques and practices shall address expansive soils or other geological concerns requiring remediation, including but not limited to:
  - Recommendations for building pad and footing construction;
  - Use of soil stabilizers or other additives; and
  - Recommendations for surface drainage.

5. Improvements in the Public Right-of-Way

The applicant shall obtain an encroachment permit for all improvements within the public right-of-way. Applicant shall post a performance bond and labor and materials payment bond (or other equivalent financial security) in the amount of 100% of the cost of the improvements to be constructed in the public right-of-way as improvement security to ensure the faithful performance of all duties and obligations required of applicant in the construction of the improvements. Such improvement security shall be in a form acceptable to the City Attorney. Such security shall be either a corporate surety bond, a letter of credit, or other instrument of credit issued by a banking institution subject to regulation by the



State or Federal government and pledging that the funds necessary to carry out this Agreement are on deposit and guaranteed for payment, or a cash deposit made either directly with the City or deposited with a recognized escrow agent for the benefit of the City. (PUBLIC WORKS)

6. Landscaping Maintenance Agreement

Prior to approval of a final map, the subdivider shall enter into an agreement with the City of Rocklin providing for the maintenance of landscaping within the public right-of-way along Sunset Boulevard. The agreement shall stipulate that the subdivider/homeowner's association shall maintain the irrigation system and all plant materials. The agreement shall also indemnify the City against claims arising from developer's activities and shall be recorded and binding on successors in interest of the developer. (ENGINEERING, PUBLIC SERVICES)

7. Subdivision Design / Special Conditions

- a. Prior to recordation of a final map or issuance of improvement plans the subdivider shall provide documentation verifying that all applicable utilities have approved the reduced Public Utility Easements (PUE) indicated on Exhibit A. Failure to obtain said approvals will require modification of the tentative subdivision map. (ENGINEERING, PLANNING)
- b. Prior to approval of improvement plans, design(s) and location(s) of the subdivision signage and commercial signage for the existing Walmart center at Sunset Boulevard shall be reviewed and approved by the Community Development Director.
  - i. Subdivision signage shall be integrated into the design of the masonry sound wall at the project entrance or the freestanding commercial sign.
  - ii. Commercial signage shall be freestanding within a lettered landscape lot and shall match the approved freestanding signs for Quarry Place Retail.
  - iii. All freestanding signs shall be located outside of any public utility easements and shall provide for a clear vision triangle if in proximity to an intersection or driveway.
  - iv. If subdivision signage is integrated into the design of the masonry wall it may only be illuminated externally, and the illumination shall be from a ground mounted light(s). Said light source shall be screened from view of drivers and pedestrians and the light beam focused so that all light falls upon the sign face.

- c. Prior to or concurrently with the recording of the final map, the following note shall be recorded by separate instrument so as to appear on the deed of each of the lots created: (ENGINEERING)

“Notice is hereby given that a commercial shopping center exists adjacent to the Cobblestone Subdivision and that commercial vehicles servicing businesses in that shopping center have the right to access Sunset Boulevard via Street A (insert approved street name when known).”

8. On- and Off-site Oak Tree Protection and Removal

The following shall be incorporated as notes on the project’s Improvement Plans and shall be implemented prior to any grading or ground/vegetation-disturbing activities, to the satisfaction of the Community Development Director:  
(PLANNING, ENGINEERING)

- a. Prior to the issuance of improvement plans or grading permits, the applicant/developer shall submit a grading plan with a list of all existing on- and off-site oak tree(s) and standard notes to ensure the protection of any oak tree(s) on or off-site, including but not limited to the 45 inch Blue Oak located on APN 010-470-001, that are designated to remain. The grading plan shall be review and approved by the Community Development Director and the City Engineer to ensure that oak trees not scheduled for removal will be protected from construction activities in compliance with the pertinent sections of the City of Rocklin Oak Tree Preservation Ordinance.
- b. Prior to the issuance of improvement plans or grading permits, the applicant/developer shall retain a certified arborist to review the design of the project improvements and recommend measures to protect oak trees that are designated to remain, both during construction and afterwards. These measures shall be incorporated into the project’s grading and / or improvement plans, for review and approval by the City Engineer. The protection measures shall include but are not limited to construction fencing, and special construction methods such as hand digging and root pruning around those trees to remain as outlined in the “Arborist Report and Tree Inventory Summary – 5615 Pacific Street Project Site” prepared by Sierra Nevada Arborists dated September 14, 2017 . The protection measures shall be approved prior to the issuance of improvement plans or a grading permit for all or any portion of the project.

- c. Prior to the issuance of improvement plans or grading permits, the applicant shall retain a certified arborist to prepare and implement an inspection plan for review and approval by the Community Development Director and City Engineer which provides for the periodic inspection of the site during grading and construction activities. During grading and construction activities, the certified arborist shall provide documentation to the City Engineer that the approved protection measures have been properly implemented and are being maintained.
- d. Upon completion of the project and prior to the first building's final inspection / issuance of a certificate of occupancy, the project arborist shall prepare a report to verify the on- and off-site oak tree(s) that were designated to remain have not been negatively impacted by construction of the project. If the project has negatively impacted any on- and/or off-site oak tree(s), then prior to a final inspection / issuance of a certificate of occupancy for the first building, the developer shall mitigate for all oak trees removed as a result of the project consistent with the requirements of the City's Oak Tree Preservation Ordinance (Rocklin Municipal Code Section 17.77.080.B). The required mitigation shall be calculated using the formula provided in the Oak Tree Preservation Ordinance and to that end the project arborist shall provide the following information:
  - The total number of surveyed oak trees;
  - The total number of oak trees to be removed;
  - The total number of oak trees to be removed that are to be removed because they are sick or dying, and
  - The total, in inches, of the trunk diameters at breast height (TDBH) of all surveyed oak trees on the site in each of these categories.

9. Park Fees

- a. Park Development Fees shall be paid as required by Rocklin Municipal Code Chapter 17.71 and Chapter 16.28. The current fee per single family dwelling unit is \$1,985. (ENGINEERING)
- b. Community Park Fees shall be paid as required by City Council Resolution #99-82. The current fee per single family dwelling is \$711/dwelling unit. (BUILDING)

10. Common Areas -- Maintenance

Prior to or concurrently with the recordation of the final map, the subdivider shall provide for the ownership and maintenance of those portions of the project to be commonly owned and / or maintained by the residents of the subdivision as specified herein through formation of a homeowner's association. The

documents creating the homeowner's association shall meet the following requirements and minimum provisions: (ENGINEERING, CITY ATTORNEY)

- a. Define the following portions of the subdivision to be common areas jointly owned and / or maintained by the residents of the subdivision:
  - Lots A through I
- b. Assignment to the homeowner's association responsibility for the maintenance of common areas and commonly maintained areas including but not limited to walls and fences, structures, landscaping, private utility services, stormwater treatment, outdoor lighting not including public street lights, and detention and drainage facilities. No modifications to these approved features shall be permitted without prior approval by the City.
- c. Assignment to the homeowner's association responsibility to monitor and report to the Community Development Director of the City of Rocklin on activities and violations of any of these conditions, easement restriction, or any other ordinance, rule or regulation of the City occurring within the common area.
- d. A statement that the City may, at its option, cause the maintenance responsibilities set forth in the documents creating the homeowners association to be performed and assess (lien) the cost to the homeowner's association in the event the project is not maintained in accordance with the approved plans. (RMC §17.60.040)
- e. A statement expressly prohibiting modification or deletion of any portion of the homeowner's association documents which specifically address City conditions of approval, City requirements, or termination of the HOA in its entirety, without the express written consent of the City.
- f. The documents creating the homeowner's association shall specifically include the following condition for enforcement by the homeowner's association:

A "parking enforcement plan" that includes guarantees, to the satisfaction of the Community Development Director, that the garages shall be used for the parking of automobiles and ensures that roll-up garage doors, with automatic garage door openers are used throughout the project.

11. Air Quality

Subdivider shall obtain or develop and distribute educational materials to all new residents within the project addressing the following air quality concerns. Copies of said materials shall be provided to the City prior to the approval of improvement plans. (PLANNING, ENGINEERING)

- a. Open burning, wood burning, and air pollution: Problems and Solutions.
- b. Transportation Control Measures: ride sharing, mass transit availability/schedules, computerized ride-matching services, and other measures designed to reduce both the use of single-occupancy vehicles and vehicle miles traveled.

12. Lot Line Adjustment

Prior to or concurrent with the approval of improvement plans, a Lot Line Adjustment shall be recorded to modify the existing property boundaries of APNs 010-470-003, 010-470-004, 010-470-005, and 010-470-021 consistent with the project boundaries shown on Exhibit A.

13. Phasing

- a. The Cobblestone Subdivision (SD2017-0005) shall be recorded in a single phase. (ENGINEERING, PLANNING)
- b. If the Cobblestone Subdivision is constructed prior to Quarry Place Apartments, and/or Quarry Place Retail, a phasing plan showing the sequence of off-site improvements shall be submitted for review and approval by the Community Development Director. The phasing plan shall include, at a minimum, the provision for public, delivery, and emergency vehicle access between the existing shopping center (Walmart) and Sunset Boulevard, acceptable Fire access, soil stabilization for areas disturbed but not developed, sequencing and coordination of utilities, sequencing of off-site improvements, if any, and sequencing of grading, retaining walls, sound walls, fencing (including any temporary fencing), and pilasters, as applicable. (ENGINEERING, FIRE, BUILDING, PLANNING)

14. Monitoring

Prior to recording of the first final map or any grading on the property, the subdivider shall deposit with the City of Rocklin the current fee to pay for the City's time and material cost to administer the Mitigation Monitoring Program. The Economic & Community Development Director shall determine if and when

additional deposits must be paid for administering the Mitigation Monitoring Program, including additional deposits on subsequent phase final maps. These amounts shall be paid prior to recording subsequent final maps on this project. (ENGINEERING, PUBLIC WORKS, BUILDING, PLANNING)

15. Indemnification and Duty to Defend

Within 15 days of approval of this entitlement by the City, the subdivider shall execute an Indemnity Agreement, approved by the City Attorney's Office, to indemnify, defend, reimburse, and hold harmless the City of Rocklin and its agents, officers and employees from any claim, action, or proceeding against the City of Rocklin to set aside, void or annul an approval of the entitlement by the City's Planning Commission or City Council, which action is brought. The City will promptly notify the applicant of any such claim, action or proceeding, and the City will cooperate in the defense of the claim, action or proceeding. Unless waived by the City, no further processing, permitting, implementation, plan checking or inspections related to the subdivision or parcel map shall be performed by the City if the Indemnity Agreement has not been fully executed. (CITY ATTORNEY)

16. Validity

- a. Approval of this entitlement does not relieve the developer of the need to obtain subsequent permits and approvals, such as but not limited to Grading Permits, Improvement Plans, Building Permits, and Oak Tree Removal Permits.
- b. All portions of this entitlement for which a final map has not been recorded shall expire three years from the date of approval unless prior to that date a time extension has been granted. (PLANNING)

PASSED AND ADOPTED this 8<sup>th</sup> day of October, 2019, by the following vote:

AYES: Councilmember(s): Broadway, Gayaldo, Halldin, Janda, Patterson  
NOES: Councilmember(s): None  
ABSENT: Councilmember(s): None  
ABSTAIN: Councilmember(s): None



\_\_\_\_\_  
Joe Patterson, Mayor

ATTEST:



\_\_\_\_\_  
Mona Forster, City Clerk

EXHIBIT A

(Cobblestone Tentative Subdivision Map / SD2017-0005)

Available at the Community Development Department, Planning Division

# COBBLESTONE TENTATIVE MAP LOTTING PLAN ROCKLIN, CALIFORNIA

JULY 2019

## SHEET 1 OF 8 (OF CIVIL PLANS)

SHEET INDEX

- CIVIL PLANS**
- SHEET 1 TENTATIVE MAP-LOTTING PLAN
  - SHEET 2 PRELIMINARY GRADING AND DRAINAGE AND OAK TREE PRESERVATION PLAN
  - SHEET 3 PRELIMINARY STORMWATER RUNOFF MANAGEMENT PLAN
  - SHEET 4 PRELIMINARY UTILITY PLAN
  - SHEET 5 PRELIMINARY TRUCK TURNING AND PARKING DETAILS
  - SHEET 6 LOT LINE ADJUSTMENT AT CORNER
  - SHEET 7 TRUCK TURNING AND PARKING EXHIBIT
  - SHEET 8 OVERALL COBBLESTONE & QUARRY PLACE PLAN

**LANDSCAPE PLANS**

- L1.1 PRELIMINARY FENCING PLAN
- L1.2-1.13 PRELIMINARY DETAILS
- L1.4-1.13 PRELIMINARY FENCING PLAN
- L1.6 SUNSET BOULEVARD STREETScape

**BENCHMARK**

USDA NATIONAL STATION NAME D-13-IN-11 R B-2  
ELEV. 249.40' (NAD 83)

COPPERWELD IN WELL IN SUNSET BOULEVARD OVER UPRR.

DATE OF SURVEY  
04/13/2018  
09/19/2018

**OWNERS / DEVELOPER / ENGINEER**

TLA ENGINEERING AND PLANNING  
1504 EUREKA ROAD, SUITE 110  
ROCKLIN, CA 95765  
PHONE: (916) 958-0888  
FAX: (916) 788-0929

**UTILITY AND SERVICE PROVIDERS:**

PLASER COUNTY WATER AGENCY  
SOUTH PLASER MUNICIPAL UTILITY DISTRICT  
GAS: ELECTRIC  
TELEPHONE  
CITY OF ROCKLIN  
SCHOOL DISTRICT  
STREET MAINTENANCE  
CITY OF ROCKLIN  
POLICE PROTECTION  
CITY OF ROCKLIN  
POLICE DEPARTMENT  
CITY OF ROCKLIN  
SOLID WASTE  
AUBURN PLASER DISPOSAL SERVICE

**LAND USE**

GENERAL PLAN: MEDIUM DENSITY RESIDENTIAL (MDR)  
ZONING: SINGLE FAMILY RESIDENTIAL 3,500 SF MIN. (R1-3.5)

**A.P.N.**

010-470-003, 008, 021 & 023

**LOT SIZE(SQUARE FEET)**

NUMBER OF LOTS: 40  
MIN: 3,501 MAX: 6,403 AVE: 3,607  
MIN WIDTH: 54'  
MIN DEPTH: 65'

**ON-STREET PARKING**

26 SPACES

**ACREAGE\***

TOTAL LOTS: 40

\* DOES NOT INCLUDE R/W OR LETTERED PARCELS

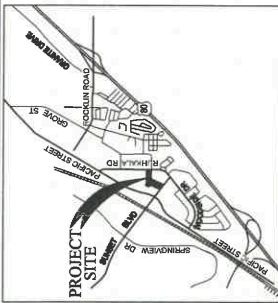


### EXHIBIT A SD2017-0005

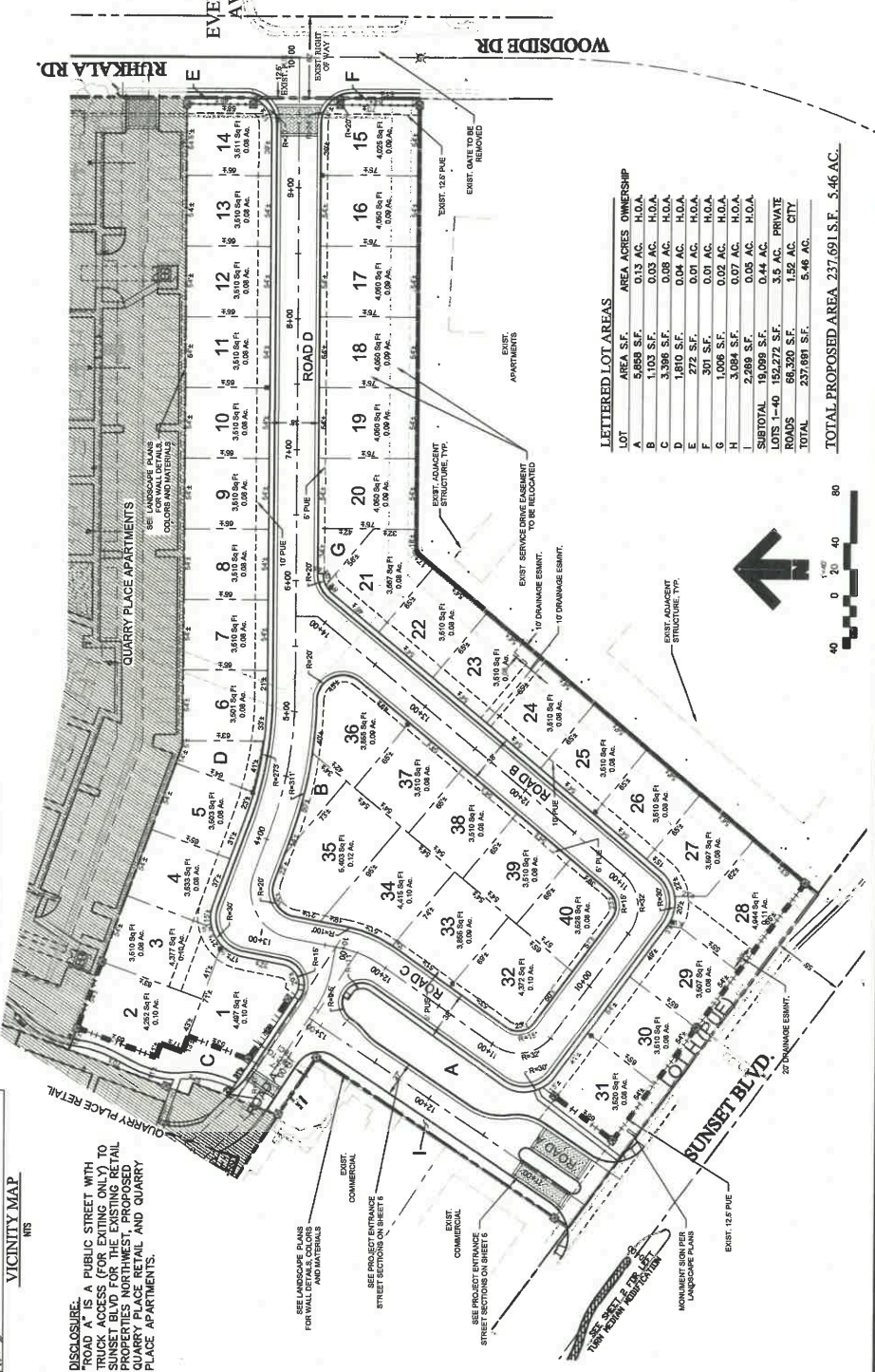
PRELIMINARY EARTHWORK  
CUT = 6,800 CYD  
FILL = 8,800 CYD  
IMPORT = 2,000 CYD  
EXPORT = 1,000 CYD  
IMPORT FROM TRENCHING AND FOOTINGS NOT INCLUDED.

DEMO AC AND AB MAY BE USED FOR NEW SUBGRADE AND BASE MATERIAL REDUCING THE AMOUNT OF IMPORT AND DECREASING THE AMOUNT OF IMPORTED AB REQUIRED FOR THE PROJECT.

- LEGEND**
- PROJECT BOUNDARY LINE
  - ADJACENT EXISTING LOT LINES
  - PROPOSED LOT LINES
  - R/W - EXISTING
  - R/W - PROPOSED
  - EASEMENT
  - ACRE
  - CUBIC YARD
  - FEET
  - PUBLIC UTILITY EASEMENT
  - RADIANS
  - TOP BACK OF CURB
  - ADJACENT QUARRY PLACE APARTMENTS DEVELOPMENTS
  - ADJACENT QUARRY PLACE RETAIL PLANNED DEVELOPMENTS



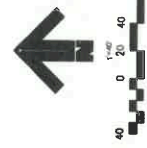
**DISCLOSURE:**  
ROAD A\* IS A PUBLIC STREET WITH TRUCK ACCESS (FOR EXISTING ONLY) TO SUNSET BLVD FOR THE EXISTING RETAIL PROPERTIES NORTHWEST, PROPOSED QUARRY PLACE RETAIL AND QUARRY PLACE APARTMENTS.



**LETTERED LOT AREAS**

LOT	AREA S.F.	AREA ACRES	OWNERSHIP
A	3,033 S.F.	0.13 AC	H.O.A.
B	3,398 S.F.	0.12 AC	H.O.A.
C	3,398 S.F.	0.12 AC	H.O.A.
D	1,810 S.F.	0.04 AC	H.O.A.
E	272 S.F.	0.01 AC	H.O.A.
F	301 S.F.	0.01 AC	H.O.A.
G	1,006 S.F.	0.02 AC	H.O.A.
H	3,084 S.F.	0.07 AC	H.O.A.
I	2,269 S.F.	0.05 AC	H.O.A.
J	1,909 S.F.	0.44 AC	PRIVATE
K	15,099 S.F.	3.5 AC	PRIVATE
L	66,920 S.F.	1.52 AC	CITY
M	237,981 S.F.	5.46 AC	CITY
<b>TOTAL</b>			

**TOTAL PROPOSED AREA 237,691 S.F. 5.46 AC.**

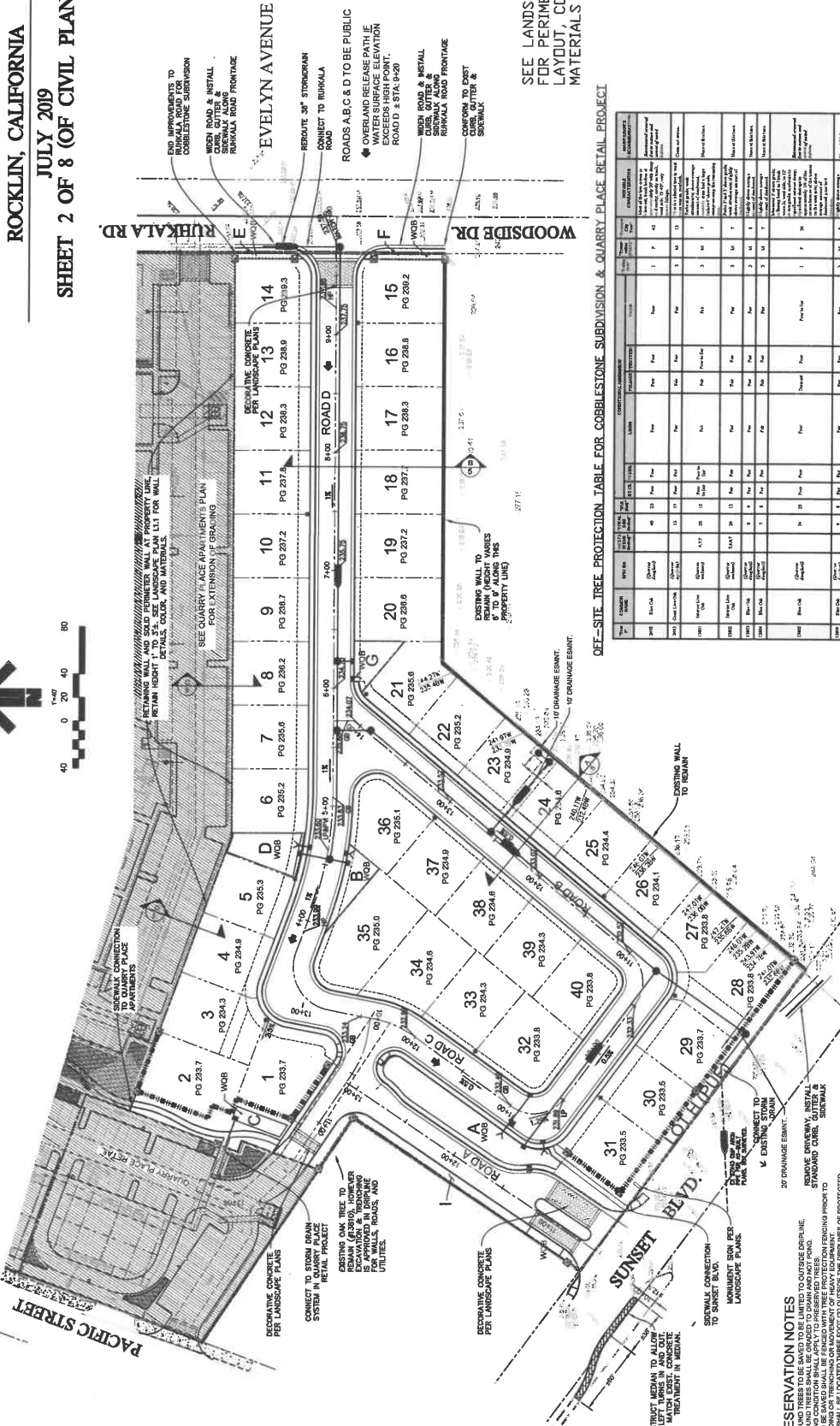
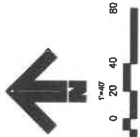




# COBBLESTONE PRELIMINARY GRADING AND DRAINAGE AND OAK TREE PRESERVATION PLAN

JULY 2019  
SHEET 2 OF 8 (OF CIVIL PLANS)

ROCKLIN, CALIFORNIA



SEE LANDSCAPE PLANS FOR PERIMETER WALL LAYOUT, COLORS AND MATERIALS

DEF-SITE TREE PROTECTION TABLE FOR COBBLESTONE SUBDIVISION & QUARRY PLACE RETAIL PROJECT

LOT NO.	DATE	BY	REASON FOR PROTECTION	PROTECTION METHOD	PROTECTION PERIOD	PROTECTION COST	PROTECTION STATUS	APPROVED BY
1	07/15/19	JL	Tree with DBH > 4\"/>					

- ### TREE PRESERVATION NOTES
- GRADING AROUND TREES TO BE SAVED TO BE LIMITED TO OUTSIDE DRAINAGE.
  - GRADING AROUND TREES TO BE SAVED TO BE LIMITED TO DRAINAGE AND NOT POND.
  - TREES TO BE SAVED SHALL BE SAVED WITH TREE PROTECTION FENCING PRIOR TO EXCAVATION & TRENCHING FOR WALLS, ROADS, AND UTILITIES.
  - FENCING SHALL BE LOCATED THREE FEET (3') OUTSIDE THE DRINKLINES OF PROTECTED TREES.
  - STAKES SHALL BE POSTED ON ALL SIDES OF SAVED FENCING STAKES.
  - STAKES SHALL BE IDENTIFIED FOR NO GRADING TO OCCUR WITHIN DRINKLINES OF ANY TREE TO BE SAVED.
  - QUARRY TREE PRESERVATION FENCING SHALL OCCUR WITHIN THE DRINKLINE OF ANY TREE TO BE SAVED UNLESS OTHERWISE NOTED ON THE APPROVED PLANS THAT TRENCHING UNDER THIS TREE IS APPROVED.







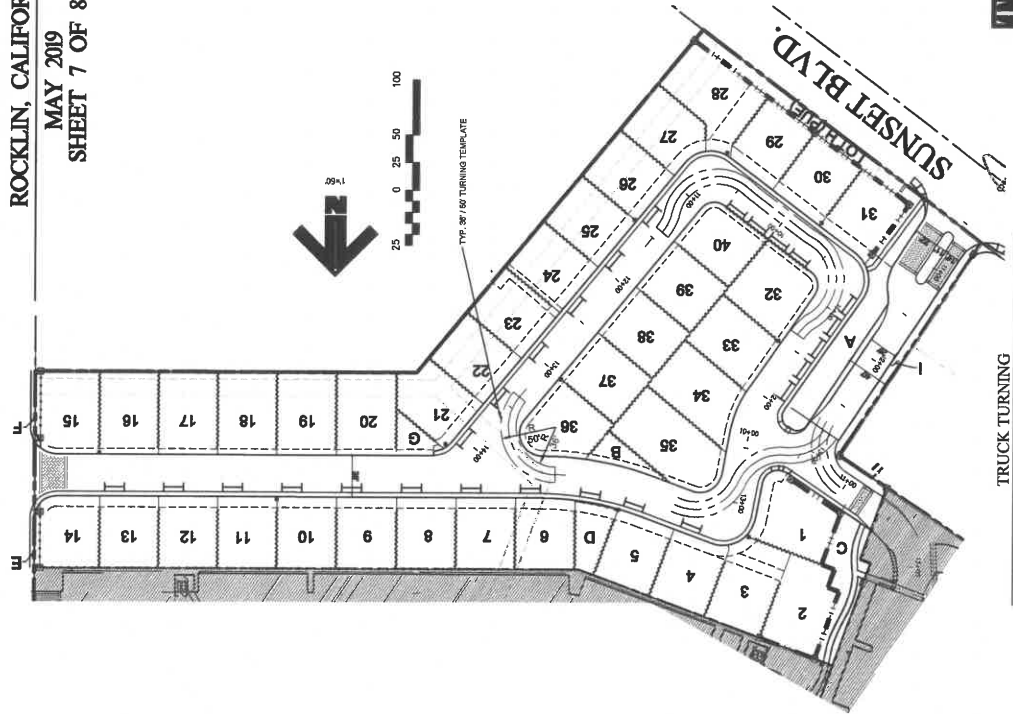




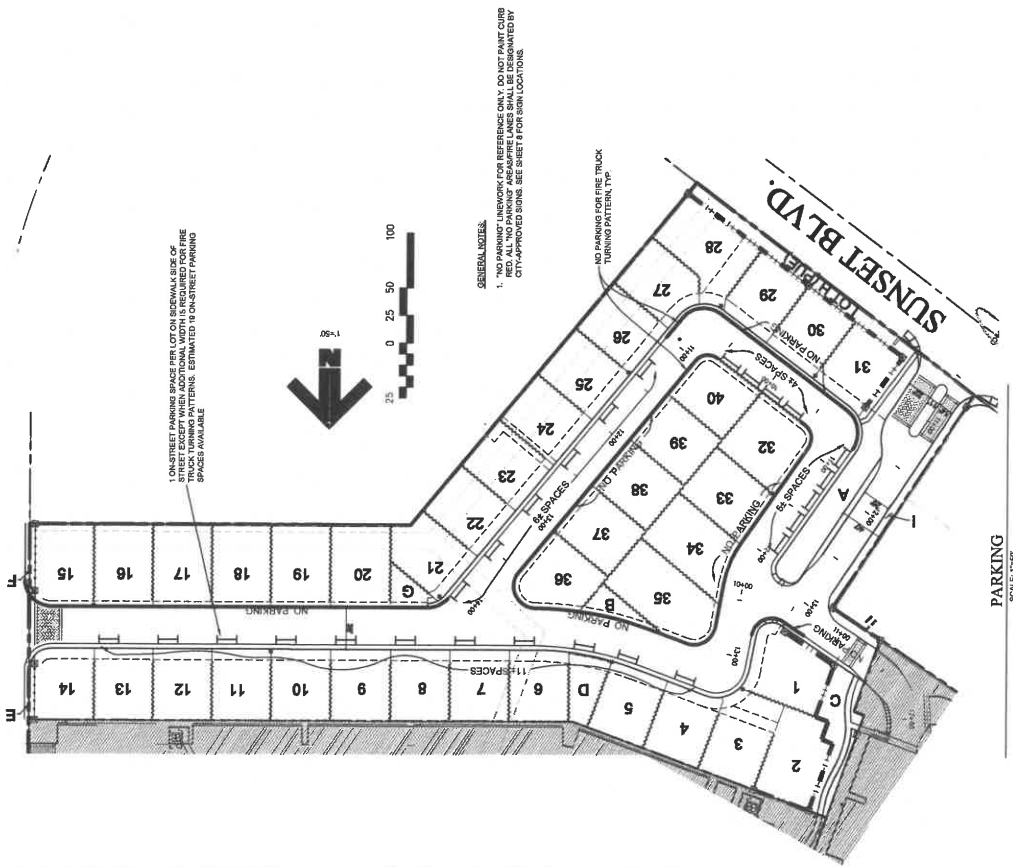
# COBBLESTONE TRUCK TURNING AND PARKING EXHIBIT

ROCKLIN, CALIFORNIA

MAY 2019  
SHEET 7 OF 8



TRUCK TURNING  
SCALE 1"=60'



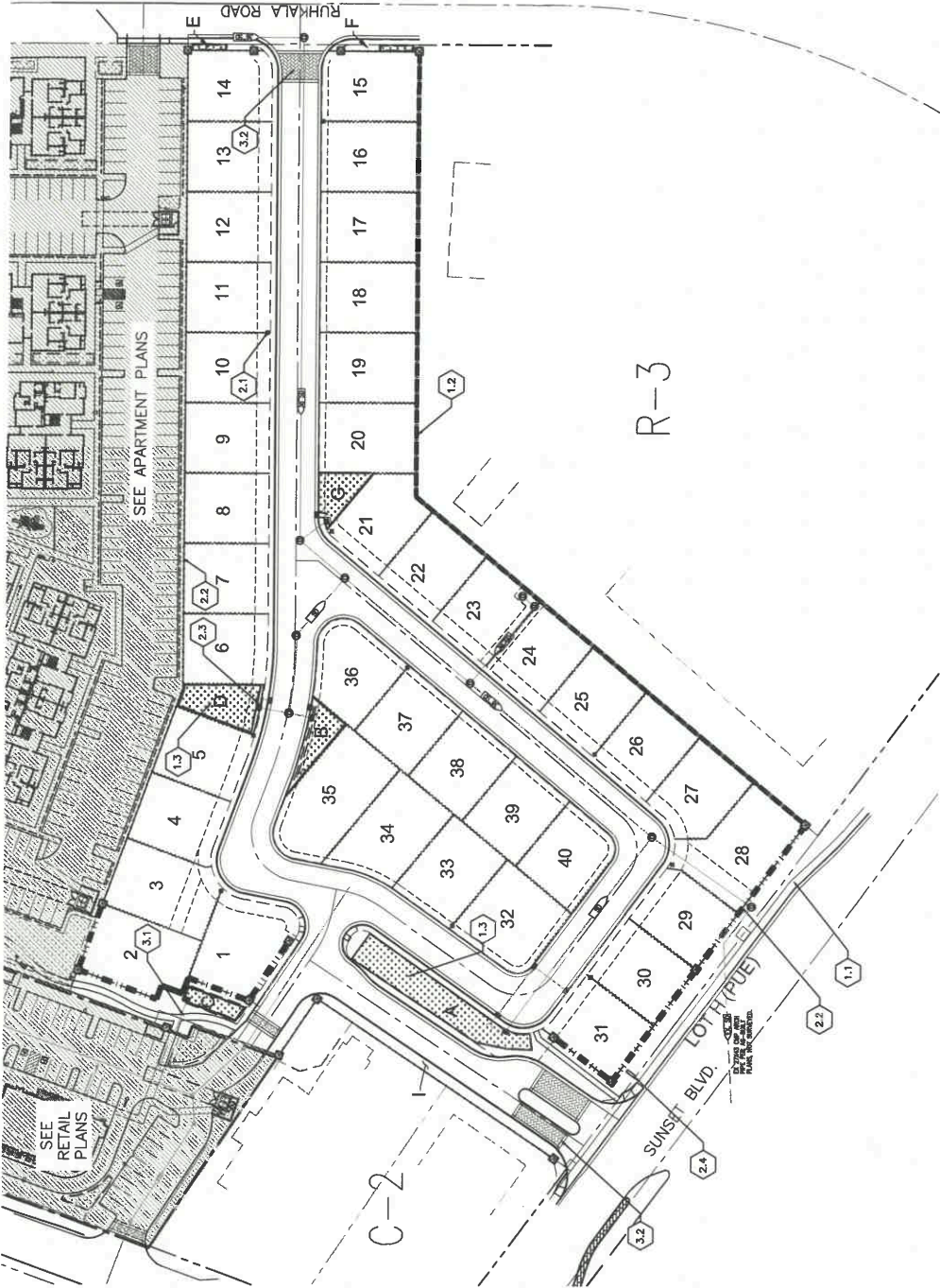
PARKING  
SCALE 1"=90'





**# CONSTRUCTION KEYNOTES**

- GENERAL NOTES**
- 1.1. EXISTING SIDEWALK.
  - 1.2. EXISTING SOUND WALL.
  - 1.3. STORMWATER APPURTENANCES - SEE CIVIL PLANS.
- SITE NOTES**
- 2.1. PROPOSED STREET LIGHTS. SEE DETAIL A, SHEET L1.3
  - 2.2. PROPOSED 6" PHOTO II WALL WITH PILASTERS. SEE DETAILS A & B, SHEET L1.2.
  - 2.3. PROPOSED 6" OPEN METAL FENCE. SEE DETAIL B, SHEET L1.3
  - 2.4. PROPOSED 6" ENHANCED WOOD FENCE. SEE DETAIL D, SHEET L1.3
  - 2.5. PROPOSED PROJECT SIGN. SEE DETAIL C, SHEET L1.2
- CONCRETE NOTES**
- 3.1. PROPOSED CONCRETE FLYWORK WITH MEDIUM BROOM FINISH.
  - 3.2. PROPOSED COLORED AND STAMPED CONCRETE FLYWORK WITH STAMPED FIELD PATTERN (UNIFORM HERRINGBONE). COLOR: KHAKI. FINISH: MATTE. COLOR SELECTION: NONE. SEE DETAIL D, SHEET L1.2



0 20 40 60 80

**L1.0**

56107009  
**FUJERMAN LEAMY**  
 ARCHITECTS  
 REGIONAL SERVICE REGIONAL OFFICE  
 240 PROFESSIONAL DRIVE, SUITE 100, ROCKLIN, CA 95676  
 (916) 251-3323 [www.fleamy.com](http://www.fleamy.com)



**KTGY Group, Inc.**  
 Architecture+Planning  
 17911 Von Karman #200  
 Irvine, CA 92614  
 949.851.2133  
[ktgy.com](http://ktgy.com)

**PRELIMINARY CONSTRUCTION PLAN**

ROCKLIN, CA  
 10/14/09

- 02.10.07
- 05.10.07 2nd SUBMITTAL
- 08.30.07 3rd SUBMITTAL
- 09.20.08 4th SUBMITTAL
- 02.22.09 5th SUBMITTAL
- 07.22.09 6th SUBMITTAL
- 01.02.07 7th SUBMITTAL

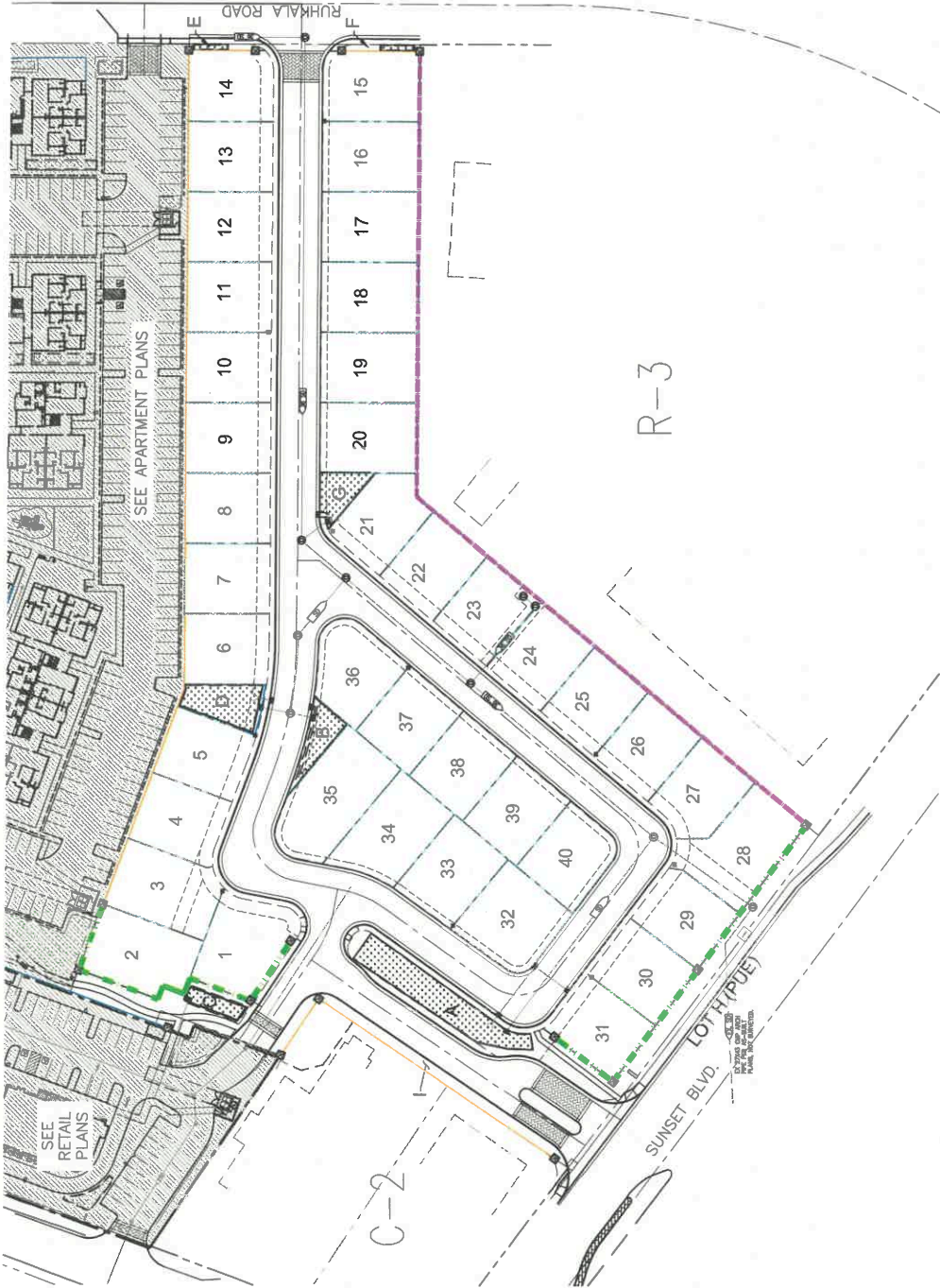
**COBBLESTONE**  
**ST. ANTON**  
 COMMUNITIES  
 1801 J Street, Suite 200  
 Sacramento, CA  
 916.471.3000



**FENCING LEGEND**

SYMBOL	DESCRIPTION
	6" OPEN METAL FENCE - SCORED FACE/TOINED WALL
	6" OPEN METAL FENCE - SCORED FACE/TOINED WALL
	6" OPEN METAL FENCE
	6" CHAINLINK WOOD FENCE
	6" WOOD GOOD NEIGHBOR FENCE
	24" SQUARE PLASTER - LOCATION AS SHOWN ON PLAN
	ENTRY MONUMENT SIGN
	EXISTING CONCRETE RETAINING WALL
	EXISTING CMU WALL

**NOTES:**  
 WHEN 6" OPEN METAL FENCE IS ADJUTING THE ADJACENT RETAIL PROPERTIES - CMU PLASTERS WILL BE INSTALLED AT 30%.

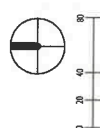


**COBBLESTONE**  
**ST. ANTON**  
 COMMUNITIES  
 1801 I Street, Suite 200  
 Sacramento, CA  
 916.471.3000

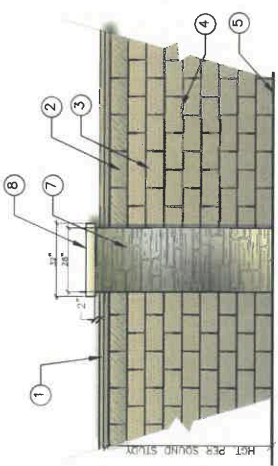
**PRELIMINARY FENCING PLAN**  
 ROCKLIN, CA  
 RES # 2014-0189

03.10.2017  
 04.14.2017 2nd SUBMITTAL  
 08.10.2017 3rd SUBMITTAL  
 01.05.2018 4th SUBMITTAL  
 03.22.2018 5th SUBMITTAL  
 07.22.2019 6th SUBMITTAL  
 03.02.2019 7th SUBMITTAL

SAC17009  
**FJHERMAN LEAMY**  
 GROUP  
 REGIONAL SERVICE  
 290 PROFESSIONAL DRIVE, SUITE 100, ROCKLIN, CA 95765  
 916.753.3323 • [www.fjhermanleamy.com](http://www.fjhermanleamy.com)



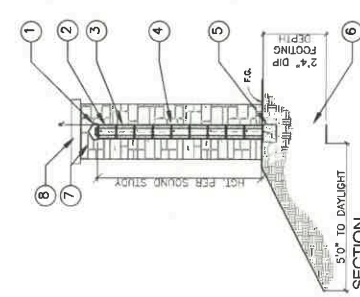
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[ktgy.com](http://ktgy.com)



1. CABLE CAP BY BASALITE. COLOR: TAN D-345.
2. TOP COURSE. BASALITE PROTO II MASONRY 8"x8"x16" BLOCK. STD. FACE/COMBED BACK. COLOR: TAN D-345. PLACE WASHER AND NUT OVER STEEL TENSION ROD.
3. REMAINING FIELD COURSES. BASALITE PROTO II MASONRY 8"x8"x16" SPLIT FACE/COMBED BACK BLOCK. COLOR: TAN D-345.
4. HORIZONTAL JOINT REINFORCING. PER MANUFACTURER'S SPECIFICATIONS. SEE PROTO II ENGINEERING.
5. CONCRETE SETTING PAD.
6. CONCRETE FOOTING. DASHED LINE INDICATES LINE OF DIP FOOTING OR LINE OF CONTINUOUS TRENCH FOOTING. SEE PROTO II ENGINEERING.
7. 28" SQ. CMU BLOCK PILASTER WITH VENEER. CORE: 8"x8"x16" WITH STONE VENEER FINISH. STONE: EL DORADO ROUGH CUT STONE. COLOR: AUTUMN LEAF.
8. PILASTER CAP. #PC10-32"x32"x4". COLOR: 'SANDSTONE' TRAVERTINE (102). AVAILABLE BY HANDLSTONE (916) 386-1430.

NOTE: ALL MASONRY WALLS ARE TO BE PAINTED WITH AN ANTI-GRAFFITI COATING. COATING TO BE BLOCK GUARD (PROSCOD), MONOHEM PERMA SHIELD (VISTA PAINT), ACRYLI-MASTER (GRAFFITI MASTER), OR APPROVED EQUAL, NON-SACRIFICIAL TYPE ONLY.

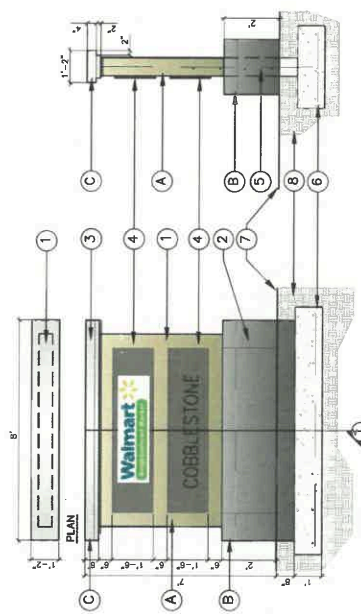
**ELEVATION**  
**A MASONRY SOUNDWALL**  
 SCALE: 1/2" = 10"



1. CABLE CAP BY BASALITE. COLOR: TAN D-345.
2. TOP COURSE. BASALITE PROTO II MASONRY 8"x8"x16" BLOCK. STD. FACE/COMBED BACK. COLOR: TAN D-345. PLACE WASHER AND NUT OVER STEEL TENSION ROD.
3. REMAINING FIELD COURSES. BASALITE PROTO II MASONRY 8"x8"x16" SPLIT FACE/COMBED BACK BLOCK. COLOR: TAN D-345.
4. HORIZONTAL JOINT REINFORCING. PER MANUFACTURER'S SPECIFICATIONS. SEE PROTO II ENGINEERING.
5. CONCRETE SETTING PAD.
6. CONCRETE FOOTING. DASHED LINE INDICATES LINE OF DIP FOOTING OR LINE OF CONTINUOUS TRENCH FOOTING. SEE PROTO II ENGINEERING.
7. 28" SQ. CMU BLOCK PILASTER WITH VENEER. CORE: 8"x8"x16" WITH STONE VENEER FINISH. STONE: EL DORADO ROUGH CUT STONE. COLOR: AUTUMN LEAF.
8. PILASTER CAP. #PC10-32"x32"x4". COLOR: 'SANDSTONE' TRAVERTINE (102). AVAILABLE BY HANDLSTONE (916) 386-1430.

NOTE: ALL MASONRY WALLS ARE TO BE PAINTED WITH AN ANTI-GRAFFITI COATING. COATING TO BE BLOCK GUARD (PROSCOD), MONOHEM PERMA SHIELD (VISTA PAINT), ACRYLI-MASTER (GRAFFITI MASTER), OR APPROVED EQUAL, NON-SACRIFICIAL TYPE ONLY.

**B MASONRY SOUNDWALL**  
 SCALE: 1/2" = 10"



- LEGEND:**
1. CONCRETE MASONRY SIGN WALL WITH STUCCO FINISH TO MATCH BUILDING.
  2. 24" X 24" X 5/8" CMU SIGN BASE WITH STUCCO FINISH AND SCREDS TO MATCH BUILDING.
  3. PAINTED PARAPET CAP TO MATCH BUILDING ARCHITECTURE.
  4. 18" X 72" LONG SIGN PANEL (RAISED LETTERS) BY OTHERS.
  5. #4 VERTICAL AND HORIZONTAL REBAR AT 12" O.C.
  6. CONCRETE FOOTING WITH #4 REBAR AT 18" O.C. EACH WAY.
  7. FINISH GRADE.

NOTE: STUCCO COLOR: TINY TAUPE SW7038 SHERWIN WILLIAMS.  
 B. STUCCO COLOR: PEPPER CORN SW7874 SHERWIN WILLIAMS.  
 C. CMP COLOR: EIDER WHITE SW 7014 SHERWIN WILLIAMS.  
 D. SIGN WILL BE EXTERNALLY ILLUMINATED.

**ELEVATION**  
**C ENTRY MONUMENT**  
 SCALE: 1/2" = 1' - 0"



**DIAGONAL HERRINGBONE**  
 COLOR: KHAKI

**D STAMPED ASPHALT**  
 SCALE: NTS

**COBBLESTONE**  
**ST. ANTON**  
 COMMUNITIES  
 1801 I Street, Suite 200  
 Sacramento, CA  
 916.471.3000

**PRELIMINARY DETAILS**  
 ROCKLIN, CA  
 EIR # 201408

02.03.2017  
 04.13.2017 2nd SUBMITTAL  
 05.20.2017 3rd SUBMITTAL  
 07.20.2016 4th SUBMITTAL  
 07.20.2016 5th SUBMITTAL  
 05.03.2016 7th SUBMITTAL

2613709  
**FUJIMAN LEANY**  
 LAND GROUP  
 DESIGN - SERVICE SOLUTIONS  
 240 PROFESSIONAL DRIVE, SUITE 800 ROSELAND, CA 94668  
 (916) 531-5243  
 info@fjlandgroup.com

**ktgy**  
**ktgy Group, Inc.**  
**Architecture+Planning**  
 17911 Von Karman #200  
 Irvine, CA 92614  
 949.851.2133  
 ktgy.com













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**LAND GROUP**  
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 200 PROFESSIONAL CENTER, SUITE 1000  
 200223.12243 .../www.furhermanleamy.com

**KTGY Group, Inc.**  
**Architecture+Planning**  
 17911 Von Karman #200  
 Irvine, CA 92614  
 949.851.2133  
 ktgy.com

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 07.22.09 6th SUBMITTAL  
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**COBBLESTONE**  
**ST. ANTON**  
 COMMUNITIES  
 1801 I Street, Suite 200  
 Sacramento, CA  
 916.471.3000









