



## New Project Information

The City of Rocklin has begun processing the below referenced applications for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved notice will be provided to alert neighbors and interested parties of the availability of project information, the opportunity to comment on a project, and of any pending review or action.

**Application Received:** March 9, 2021

**Project Name and Requested Approvals:**

GROVE STREET COMMONS SUBDIVISION  
TENTATIVE SUBDIVISION MAP, SD2021-0002  
GENERAL DEVELOPMENT PLAN AMENDMENT, PDG2021-0001

**Staff Description of Project:**

This application is a request for approval of a Tentative Subdivision Map and a General Development Plan Amendment to divide the existing two parcels into six residential lots and modify the development standards applicable to the properties.

**Location:**

The subject site is located behind the existing house at 4865 Grove Street. APNs 045-090-061 and -062.

**Existing Land Use Designations:**

The property is zoned Planned Development 4.5 units per acre (PD-4.5).  
The General Plan designation is Medium Density Residential (MDR).

This project XX does /    does not require modification or change of the land use designations and regulations currently applicable to the project site.

**Compliance with the California Environmental Quality Act:**

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) Section 15315 Minor Land Divisions and 15305 Minor Alterations in Land Use Limitations has tentatively identified a Categorical Exemption as the appropriate level of environmental review for this project.

**Applicant & Property Owner:**

The applicant and owner is Jason Pasquetti.

**Attached Information:**

For additional detail please see the attached information from the project application form and the submitted application exhibits.



# City of Rocklin

Planning Division  
3970 Rocklin Road  
Rocklin, California 95677  
Phone (916) 625-5160 FAX (916) 625-5195

## UNIVERSAL APPLICATION FORM

**NAME OF PROJECT:** Grove Street Commons

**LOCATION:** 4865 Grove Street Rocklin, CA 95677

**ASSESSOR'S PARCEL NUMBERS:** 045-090-061 & 062

**DATE OF APPLICATION (STAFF):** 3/9/21 **RECEIVED BY (STAFF INITIALS):** \_\_\_\_\_

**FILE NUMBERS (STAFF):** \_\_\_\_\_ ENV2021-0001, **FEES:** 17867

**RECEIPT No.:** \_\_\_\_\_ PDG2021-0001, SD2021-0002

### Pre-Application Meeting Requirements:

It is required that a pre-application meeting be held with a Staff Planner prior to submitting most applications for planning entitlements and permits. The purpose of the pre-application meeting is to expedite application processing by enabling staff to work with the applicant to assure that the officially submitted application materials are in the proper format and that the applicant understands the City of Rocklin's goals, policies, and ordinances that may affect the project. A copy of these and other planning provisions is available at the applicant's request.

Generally, two sets of preliminary plans and a written description of the proposed project should be brought with the applicant to the pre-application meeting. To schedule this meeting, please contact a Staff Planner at the Rocklin Community Development Department by calling (916) 625-5160.

**DATE OF PRE-APPLICATION MEETING:** BF waived

### THIS APPLICATION IS FOR THE FOLLOWING ENTITLEMENTS: (CHECK APPROPRIATE SQUARES)

<input type="checkbox"/> General Plan Amendment (GPA) Fee:	<input checked="" type="checkbox"/> Tentative Subdivision Map (SD) Fee: <u>\$15,166</u>	<input type="checkbox"/> Use Permit (U) <input type="checkbox"/> Minor (PC Approval - New Bldg) Fee: <input type="checkbox"/> Minor (PC Approval - Existing Bldg) Fee: <input type="checkbox"/> Major (CC Approval) Fee:
<input type="checkbox"/> BARRO Zone Application (BZ) Fee:	<input type="checkbox"/> Tentative Parcel Map (DL) Fee:	<input type="checkbox"/> Variance (V) Fee:
<input type="checkbox"/> Rezone (Reclassification) (Z) Fee:	<input type="checkbox"/> Design Review (DR) Commercial Fee: Residential Fee: Signs Fee:	<input type="checkbox"/> Oak Tree Preservation Plan Permit Planning Commission Fee: City Council Fee:
<input checked="" type="checkbox"/> General Development Plan (PDG) (Amendment) Fee: <u>\$13,339</u>		<input type="checkbox"/> Modification to Approved Projects Fee:
<input checked="" type="checkbox"/> Concurrent Application (2 or more entitlements) Fee: <u>17,317.00</u>		_____ File Number

**Environmental Requirements: (STAFF)**

<input checked="" type="checkbox"/> Exempt - <u>\$520</u>	<input type="checkbox"/> Mitigated Negative Declaration -
<input type="checkbox"/> Negative Declaration -	<input type="checkbox"/> EIR - See Fee Schedule

## UNIVERSAL APPLICATION FORM (CONT.)

GENERAL PLAN DESIGNATION:	PROPERTY DATA:	UTILITIES:	
		EXISTING	PROPOSED
Existing: <u>MDR</u>	Acres: <u>1.36</u>	<input type="checkbox"/> Pub. Sewer	<input checked="" type="checkbox"/> Pub. Sewer
Proposed: <u>MDR</u>	Square Feet: <u>59,241.6</u>	<input type="checkbox"/> Septic Sewer	<input type="checkbox"/> Septic Sewer
<b>Zoning:</b>	Dimensions: <u>N/A</u>	<input type="checkbox"/> Pub. Water	<input checked="" type="checkbox"/> Pub. Water
Existing: <u>PD-4.5</u>	No. of Units: <u>Six</u>	<input type="checkbox"/> Well Water	<input type="checkbox"/> Well Water
Proposed: <u>PD-4.5</u>	Building Size: <u>1740-2250 SF</u>	<input type="checkbox"/> Electricity	<input checked="" type="checkbox"/> Electricity
	Proposed Parking: <u>N/A</u>	<input type="checkbox"/> Gas	<input checked="" type="checkbox"/> Gas
	Required Parking: <u>N/A</u>	<input type="checkbox"/> Cable	<input checked="" type="checkbox"/> Cable
	Access: <u>Private Street</u>		

**PROJECT REQUEST:** \_\_\_\_\_

The Grove Street Commons' project entitlement request includes a request for approval of a 6-lot Tentative Subdivision Map for a 1.36+/- acre vacant site located at 4865 Grove Street. APNs 045-090-061 & 062.

The proposal also includes a request for an amendment to the the Development Standards previously approved for the Planned Development and defined in City of Rocklin Ordinance 922.

*(Example: Request for approval of design review to construct a 10,000 square foot office building on 1.5 acres)*

**NOTE:** Annexations, Lot Line Adjustments, and Rocklin Ranch Industrial Park Specific Plan Use Permits require special application forms and additional submittal information available from the Planning Division.

**UNIVERSAL APPLICATION FORM (CONT.)**

**PLEASE PRINT OR TYPE:**

NAME OF PROPERTY OWNER: Jason Pasquetti

ADDRESS: PO Box 1154

CITY: Loomis STATE: CA ZIP: 95650

PHONE NUMBER: (916) 543-9401

EMAIL ADDRESS: jason@jdpasquetti.com

FAX NUMBER: (916) 543-9426

**SIGNATURE OF OWNER**



*(Signature Authorizing Application; provide owner's signature letter if signature is other than property owner.)*

NAME OF APPLICANT

(If different than owner): \_\_\_\_\_

CONTACT: \_\_\_\_\_

ADDRESS \_\_\_\_\_

CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

PHONE NUMBER: \_\_\_\_\_

EMAIL ADDRESS: \_\_\_\_\_

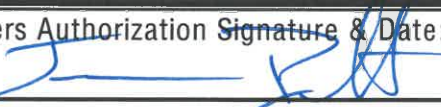
FAX NUMBER: \_\_\_\_\_

**SIGNATURE OF APPLICANT** \_\_\_\_\_



**AGENT AUTHORIZATION FORM**

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name: Grove Street Commons
Location: 4865 Grove Street, Rocklin, CA 95677
Assessors Parcel Number(s): 045-090-061 & 062
Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.): Tentative Subdivision Map / General Development Plan Amendment
Name of person and / or firm authorized to represent property owner (Please print): Greg Bardini, Morton & Pitalo, Inc.
Address (Including City, State, and Zip Code): 600 Coolidge Dr. Folsom, CA 95630
Phone Number: 916-496-8763
Fax Number:
Email Address: gbardini@mpengr.com
The above named person or firm is authorized as: Agent ( <input checked="" type="checkbox"/> ) Buyer ( ) Lessee ( )
The above named person or firm is authorized to (check all that are applicable): ( <input checked="" type="checkbox"/> ) File any and all papers in conjunction with the aforementioned request, including signing the application ( <input checked="" type="checkbox"/> ) Speak on behalf of and represent the owner at any Staff meeting and/or public hearing. ( <input checked="" type="checkbox"/> ) Sign any and all papers in my stead, with the exception of the application form.
The duration and validity of this authorization shall be: ( ) Unrestricted ( ) Valid until:
Owners Authorization Signature & Date:  3-5-21
Owners Name (Please Print): Jason Pasquetti
Owners Address (Including City, State, and Zip Code): PO Box 1154 Loomis, CA 95650
Phone Number: (916) 543-9401
Email Address: jason@jdpasquetti.com



March 2, 2021

## **Grove Street Commons**

### **Project Description/Justification**

The proposal is for a new 6-lot single-family residential project located within the City of Rocklin at 4865 Grove Street. The site is more specifically defined as APNs 045-090-061 & 062, is zoned PD-4.5, and contains 1.36 +/- acres. The site is currently vacant and undeveloped. The site is identified for Medium-Density Residential (MDR) in the current General Plan.

#### 2007 Entitlement Approval

A Tentative Subdivision Map, Rezone, General Development Plan, and Oak Tree Preservation Plan were originally approved for the site in 2007. This prior approval included seven (7) proposed single-family residential lots including a lot (Lot 1) to contain the existing residence located on Grove Street. A modified "private" cul-de-sac was proposed to serve the six (6) proposed lots located behind the existing residence. The proposed cul-de-sac included two modified street sections. One narrower section designed to fit between the existing residence and the southern property line and second section for the remainder of the "private" cul-de-sac. This private roadway and the adjacent 4' landscape area (south side) were located within the individual lots and proposed for designation as a "Private Street Easement" for access and maintenance purposes. Parking restrictions were defined for the entirety of cul-de-sac in the approved Conditions of Approval (COA).

#### 2021 Entitlement Proposal

While the Tentative Subdivision Map has since expired, the approved rezone and General Development Plan with site specific development standards were put in-place for the property.

Subsequent to the 2007 entitlement approval, a lot Line Adjustment was completed, which created a separate lot to contain the existing residence located on Grove Street (APN 010-097-007). As a result of the Lot Line Adjustment, this specific area (a portion

Morton & Pitalo, Inc.  
Civil Engineering \*Land Surveying\*Land Planning  
600 Coolidge Drive, Suite 140, Folsom, CA 95630  
(916) 927-2400



of Lot 1 as defined on the 2007 TSM) is no longer contained in the project boundary. Consistent with the prior TSM approval, the portion of the previously approved "Lot 1" that contained the proposed private roadway to serve the remaining lots of the project, was maintained as part of the primary project parcel (APN 045-090-062) effectively creating a flag lot with access to Grove Street.

The current proposal is for a Tentative Subdivision to allow the creation of six (6) single-family residential lots (Lots 1 through 6 – 2021 TSM) primarily consistent with the previously approved six (6) single-family residential lots (Lots 2 through 7 – 2007 TSM). The current Tentative Subdivision Map will allow for the development of the remainder of the project site as intended with the 2007 TSM approval. The prior General Development Plan for the site (Ordinance No. 922) approved in 2007 defines the development standards for the subject property. In addition to the proposed 6-Lot Tentative Subdivision Map, an amendment to the approved General Development Plan is proposed to modify several setbacks to better adhere to building setbacks more consistent with typical building setbacks indicative of Medium-Density uses. The proposed setbacks are defined on the General Development Plan exhibit (Sheet 2 of 3) included with the project proposal. The proposed modifications include the use of 10' to building / 18' to garage front and 10' rear setbacks as opposed to the previously defined 25' front and 20' rear setbacks. While the current setbacks will likely be maintained for most of the lots by the nature lot sizes in excess of 6,000 sf, the use of the cul-de-sac restricts the buildable area of Lots 3 and 4 requiring the proposed modification to setbacks as described above.

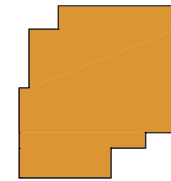
Additionally, per the original 2007 proposal, the current project includes the proposal for a fence along the southern property line versus the "spilt-face" CMU wall with pilasters as defined in the previously approved COA.

Outside of the Development Standards modification to the General Development Plan, the proposed project is consistent with the project reviewed and approved in 2007.

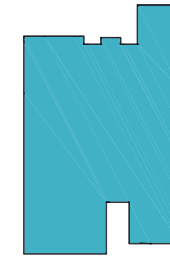


MARCH 3, 2021  
**GENERAL DEVELOPMENT PLAN**  
**GROVE STREET COMMONS**  
 4865 GROVE STREET  
 SHEET 2 OF 3

**mp** **MORTON & PITALO, INC.**  
 CIVIL ENGINEERING • LAND PLANNING • LAND SURVEYING  
 Northern California Office      Central California Office  
 600 Coolidge Drive, Suite 140      7643 North Ingram Avenue, Suite 105  
 Folsom, CA 95630      Fresno, CA 93211  
 phone: 916.984.7621      phone: 916.853.4505  
 survey email: staking@mpengr.com • web: www.mpengr.com

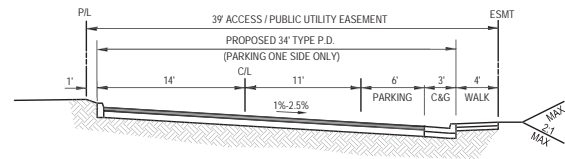
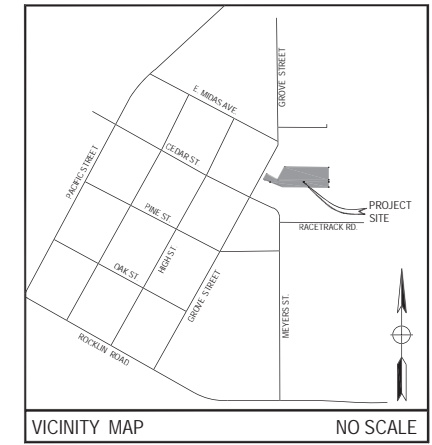


PLAN 1  
(1,780 s.f.)

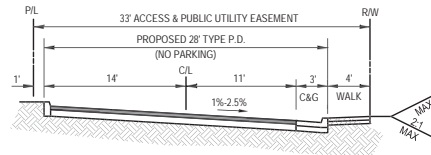


PLAN 2  
(2,250 s.f.)

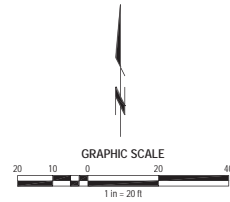
LOT FIT



**A** ROAD 'A' (PRIVATE ROAD)  
 PARKING ONE-SIDE ONLY      N.T.S.



**B** ROAD 'A' (PRIVATE ENTRY ROAD)  
 NO PARKING      N.T.S.



**OWNER / APPLICANT      ENGINEER/PLANNER**

JASON PASQUETTI  
 PO BOX 1154  
 LOMIS, CA 95650  
 CONTACT: JASON PASQUETTI  
 PHONE: (916) 943-9481  
 EMAIL: JASON@JPASQUETTI.COM

MORTON PITALO  
 600 COOLIDGE DRIVE, SUITE #140  
 FOLSOM, CA 95630  
 CONTACT: GREG BARDINI  
 PHONE: (916) 937-2400  
 EMAIL: GBARDINI@MPENGR.COM

**UTILITY PROVIDERS**

WATER: PCWA  
 SEWER: SPMUD  
 GAS AND ELECTRIC: PG&E  
 TELEPHONE: PAC BELL  
 CABLE TV: STARSTREAM

**SERVICE PROVIDERS**

SCHOOL DISTRICT: ROCKLIN UNIFIED SCHOOL DISTRICT  
 FIRE PROTECTION: CITY OF ROCKLIN  
 POLICE PROTECTION: CITY OF ROCKLIN  
 STORM DRAINAGE: CITY OF ROCKLIN  
 SOLID WASTE: AUBURN PLACER DISPOSAL SERVICE

**PROJECT INFORMATION**

PROPERTY NOTES:  
 ASSESSOR PARCEL NUMBERS: 045-090-061 & 062  
 USE: VACANT  
 EXISTING ZONING: PD-4.5  
 PROPOSED ZONING: PD-4.5  
 GENERAL PLAN: MDR

USES / LOTS	#	ACRES
EXISTING (VACANT)	2	1.36 ± AC
PROPOSED (SINGLE-FAMILY RESIDENTIAL)	6	1.36 ± AC, 4.41 DUAC

**PROPOSED LOT STANDARDS - PD-4.5**

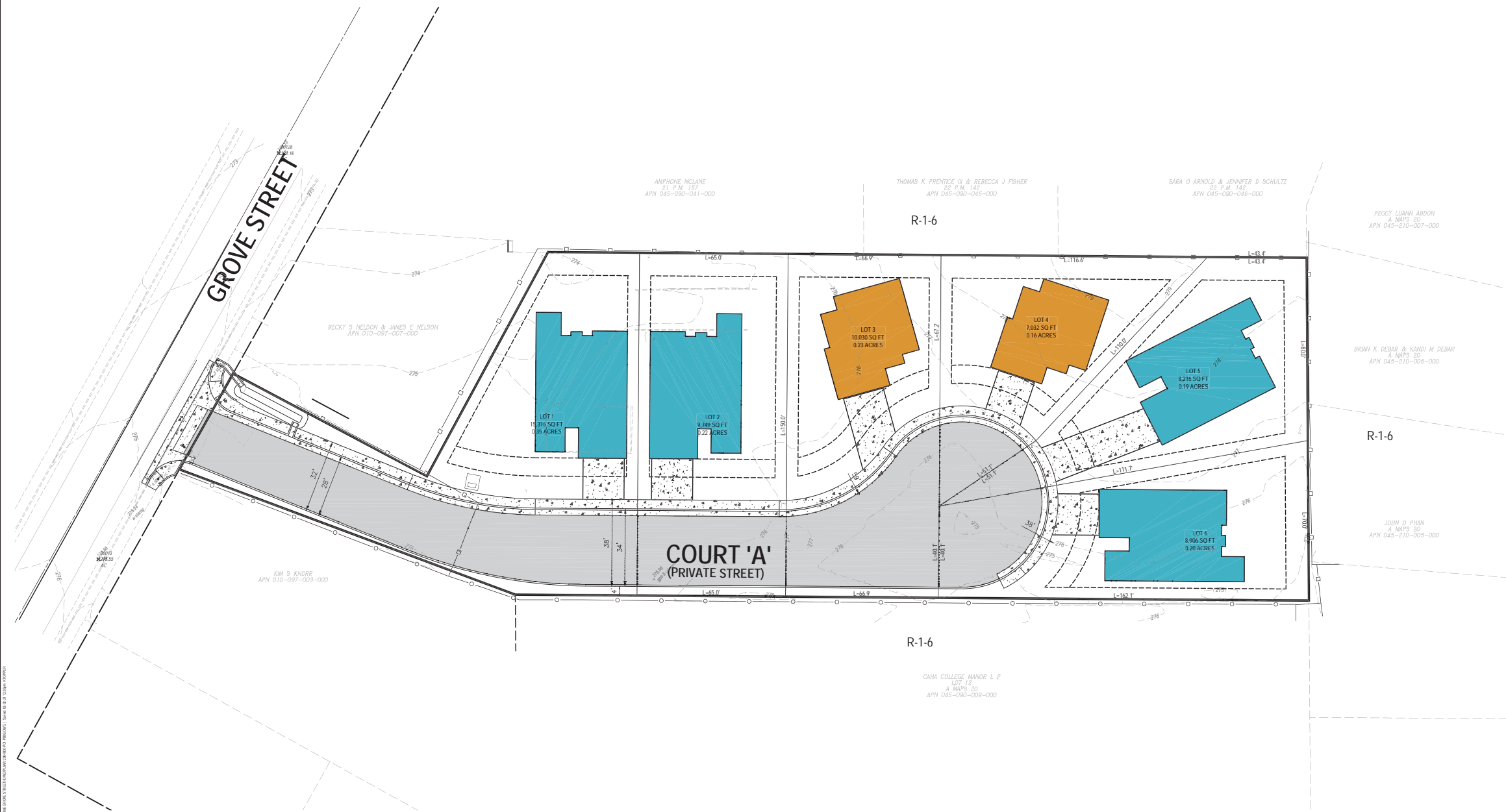
MINIMUM LOT SIZE: 8,000 SQ.FT.  
 AVERAGE LOT SIZE: 9,800 SQ.FT.  
 MAXIMUM LOT SIZE: 15,400 SQ.FT.

**SETBACKS**

FRONT/GARAGE: (FROM INTERIOR STREET) 18' MIN  
 FRONT/DWELLING UNIT: (FROM INTERIOR STREET) 10'  
 SIDE YARD: 5'  
 REAR YARD: 10'  
 BUILDING COVERAGE: 40%

**BUILDING HEIGHT**

PRIMARY STRUCTURE: 30'  
 ACCESSORY STRUCTURE: 14'  
 MINIMUM LOT WIDTHS: 65'

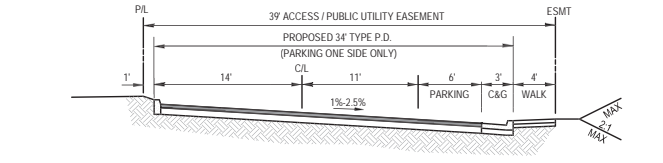


ALL CONSTRUCTION OF THIS PROJECT SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKLIN DEVELOPMENT ORDINANCES.

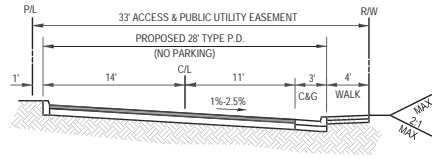


MARCH 3, 2021  
**PRELIMINARY GRADING PLAN**  
**GROVE STREET COMMONS**  
 4865 GROVE STREET  
 SHEET 3 OF 3

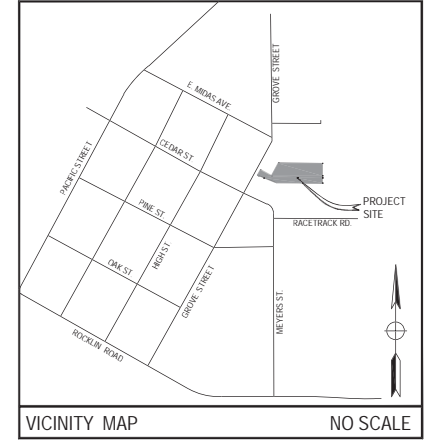
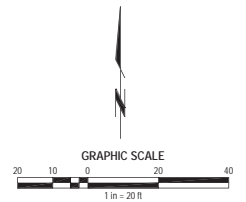
**mp** **MORTON & PITALO, INC.**  
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**A ROAD 'A' (PRIVATE ROAD)**  
 PARKING ONE-SIDE ONLY N.T.S.



**B ROAD 'A' (PRIVATE ENTRY ROAD)**  
 NO PARKING N.T.S.



VICINITY MAP NO SCALE

OWNER / APPLICANT	ENGINEER/PLANNER
JASON PASQUETTI PO BOX 1154 LOOMIS, CA 95650 CONTACT: JASON PASQUETTI PHONE: (916) 543-9401 EMAIL: JASON@JDPASQUETTI.COM	MORTON PITALO 400 COOLIDGE DRIVE, SUITE #140 FOLSOM, CA 95630 CONTACT: GREG BARDINI PHONE: (916) 927-2400 EMAIL: GBARDIN@MPENGR.COM

UTILITY PROVIDERS	
WATER:	PCWA
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GAS AND ELECTRIC:	PG&E
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GENERAL PLAN:	MDR
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PROPOSED (SINGLE-FAMILY RESIDENTIAL)	6 1.36 ± AC 4.41 DU/AC

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FRONT DWELLING UNIT	(FROM INTERIOR STREET) 10'
SIDE YARD	5'
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BUILDING HEIGHT	
PRIMARY STRUCTURE:	30'
ACCESSORY STRUCTURE:	14'
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