

RESOLUTION NO. PC-99-08

RESOLUTION OF THE PLANNING COMMISSION OF
THE CITY OF ROCKLIN APPROVING A
ONE-YEAR TIME EXTENSION OF
A SPECIFIC PLAN USE PERMIT
(Highlands Project/SPU-92-01)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

- A. An environmental impact report for this project has been certified.
- B. The establishment, maintenance, and operation of the uses and buildings proposed by the use permit will not be detrimental to the health, safety or general welfare of persons residing or working in the vicinity; or detrimental or injurious to property or improvements in the vicinity or to the general welfare of the City.
- C. The establishment, operation, and maintenance of the uses and buildings or structures is consistent with the goals, policies, and land use designations in the General Plan and with all zoning standards, regulations, and restrictions applicable to the property.

Section 2. Specific Plan Use Permit (SPU-92-01) for Lots 85 through 307 as contained in Exhibit A ("The Highlands Custom Lots 85-307 Specific Plan Use Permit Guidelines"), attached hereto and by this reference incorporated herein, is extended to November 14, 1999, subject to the conditions listed below. Unless expressly stated otherwise, the applicant is solely responsible for satisfying each requirement of Specific Plan Use Permit prior to issuance of the building permit.

- A. Development on tentative map lots 85 through 307, inclusive, shall be subject to prior design review approval of the Community Development Director to ensure the design guidelines as contained in the "Highlands Design Guidelines" are met. Notice of this requirement shall be recorded by separate instrument with the final map.

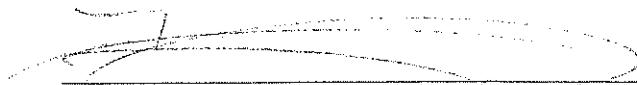
PASSED AND ADOPTED this 19th day of January, 1999, by the following roll call vote:

AYES: Commissioners Coleman, Sully, Barber, O'Brien, Penney

NOES: None

ABSENT: None

ABSTAIN: None


Chairman

ATTEST:


Secretary

SGA:11f
g:reso/1998/spu9201 highlands ext

EXHIBIT A
THE HIGHLANDS
CUSTOM LOTS 85-307
SPECIFIC PLAN USE PERMIT
DESIGN GUIDELINES

The following design guidelines are recorded as part of the Codes, Covenants and Restrictions (C, C & R's) for the Highlands subdivision. These design guidelines only apply to those lots listed as custom lots 85-307 on attached Exhibit J.

1. SUBMITTAL PROCESS

- a. The applicant shall provide sufficient drawings and documentation to demonstrate that all conditions of the Specific Plan Use Permit and provisions of these Guidelines have been met. Drawings shall include, but shall not be limited to; a field verified, topographic map with the proposed building outline and finished floor elevations depicted, elevations of all sides of the building, and an engineered grading plan. The applicant shall also provide the City with certification of compliance by a registered Civil Engineer that the approved grading plan was implemented. A checklist of the minimum building permit submittal requirements is included as part of these guidelines and is attached as Appendix 1.
- b. If staff determines an application does not comply with conditions of the Specific Plan Use Permit or these Guidelines, the applicant may either modify the plans to comply or apply to the Design Review Board (Planning Commission) for consideration of the plans as originally submitted. If an applicant wishes to make an application to the Design Review Board, all property owners within the subdivision, in addition to those within 600 feet of the subject property, shall be notified of the meeting date and the nature of the application.

2. SITE PLANNING

- a. Structures shall be located to preserve views both to and from the hillside viewsheds and to respect the views of neighboring lots to the extent feasible.
- b. Structures shall be oriented to maximize passive cooling and heating opportunities.
- c. Retain as much of the existing native vegetation as possible while minimizing risk to structures from wildland fires.

3. DRIVEWAYS

- a. The location, width, design, grade, and type of material for driveways shall be sensitive to potential visual impacts and the terrain of the hillside. Specific attention should be given to driveway widths and construction materials.
- b. Common driveways with adjacent lots are encouraged, where feasible, to minimize pavement. Provisions for joint ingress/egress and common area maintenance should be included in deed restrictions.

- c. Driveways should be constructed using concrete, exposed concrete or an all-weather material (e.g., darkened or colored concrete, textured or stamped concrete, or interlocking pavers) that will blend in with the surroundings. When driveways are located on slopes of 15% or more where concrete may be necessary, the surface should be darkened to reduce the visual impacts.
- d. Driveways or accessways serving structures located beyond 150 feet from a public street must reviewed by the Fire Department.
- e. Grading for driveways shall utilize the following techniques:
- Set house on the site so that the length of the driveway is minimized.
 - Minimize the visibility of driveway cuts from off the property.
 - Use plantings, wall materials and colors to minimize visual effects of driveway cuts.
 - Design driveway alignment and slope to fit with natural topography as shown in Exhibit A.

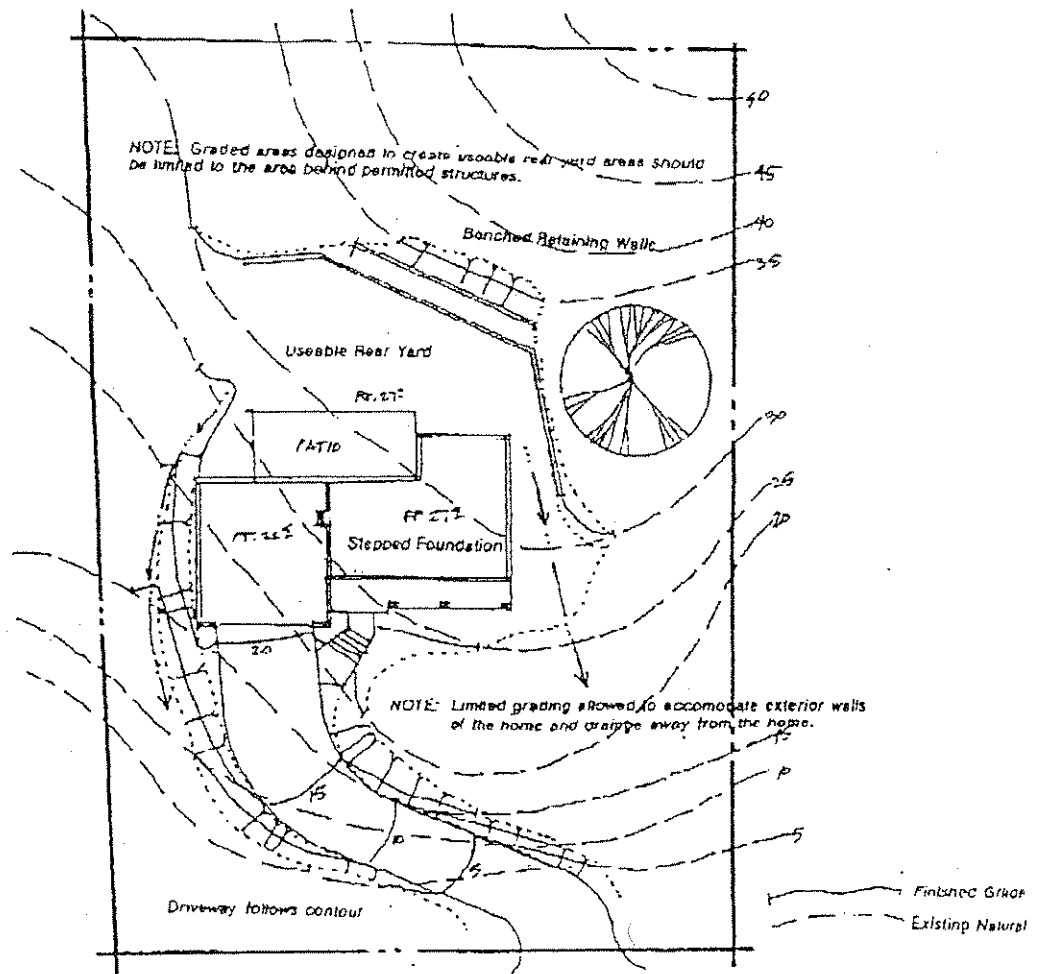


EXHIBIT A: Site Grading

This exhibit is for illustration purposes only. All submitted construction documents shall contain necessary technical details.

4. LOT GRADING

- a. Dwelling units and yard areas shall be designed to conform as shown in the topography of the lot. Stepped foundations are encouraged for all lots, as shown in Exhibit B.

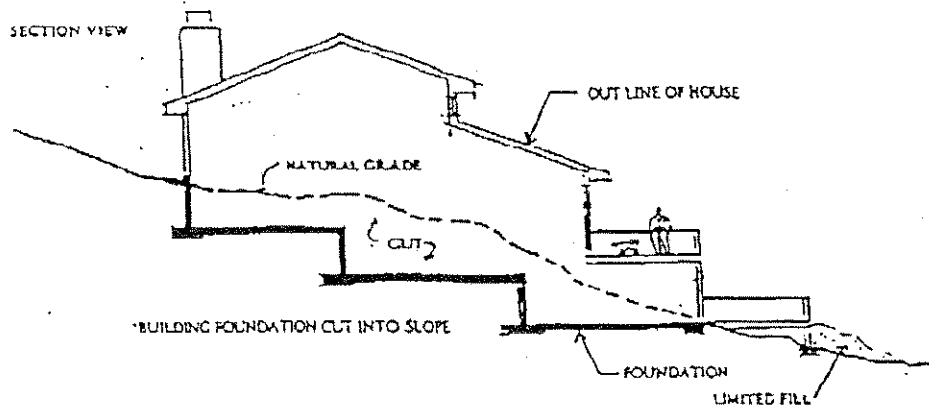


EXHIBIT B: Stepped Foundations

This exhibit is for illustration purposes only. All submitted construction documents shall contain necessary technical details.

- b. The following grading guidelines shall apply to single-family dwellings located in hillside areas:

On existing slopes under 15%:

- Grading to create single-level padded lots is permitted provided that significant vegetation, rock outcroppings, or other important natural features will not be removed or disturbed.
- The proposed grading will blend with the natural terrain and will not be located at a visually sensitive area.

On existing slopes 15% and greater:

- Dwellings should be designed with raised, stepped or pier and grade foundations to reduce grading, to avoid contiguous stair-stepped and padded lots, and to retain a more natural appearance.
- Grading to create flat usable open space should be limited. Outdoor living space should be provided by constructing elevated decks or patios that are integrated into the design of the dwellings.
- A reasonable, useable padded rear yard area of approximately 20 feet may be permitted. Any area graded to create a usable rear yard would be limited to the area directly behind permitted structures. See Exhibit C.

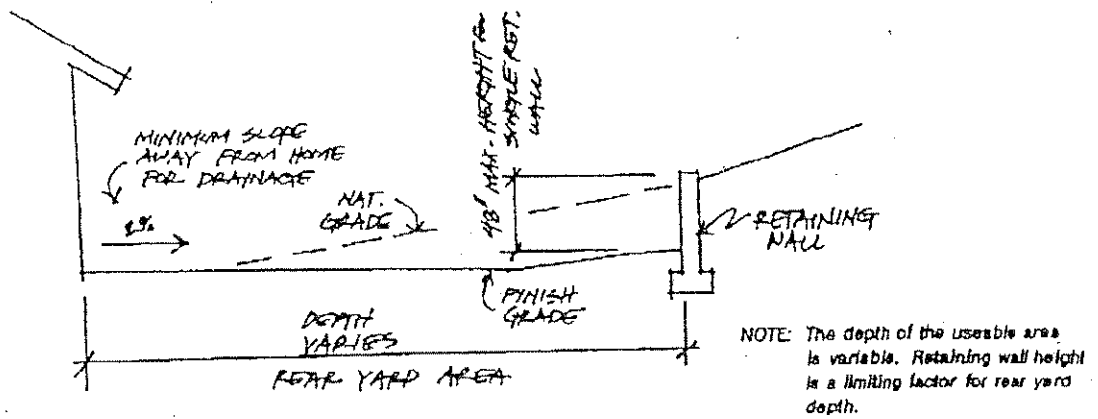


EXHIBIT C: Useable Rear Yard Area

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5. RETAINING WALLS

- a. Retaining walls may be used as a means of retention support for varied topographical conditions. Benching of retaining walls is encouraged. Benched walls shall not exceed 30" for each wall. The horizontal distance between each bench shall be a minimum of 24". See Exhibit D.
- b. In a non-benched condition, a single retaining wall is permitted but shall not exceed 48" in height. All fences which are adjacent to public areas, such as street side yards, which are constructed on the retained side of a retaining wall which exceeds 30" in height, must be set back from the top of the retaining wall a minimum of 24". See Exhibit E. Building permits will be required for walls exceeding 30" in height.
- c. All retaining walls over 30" in height shall be constructed of reinforced masonry materials. Reinforced masonry materials are encouraged for retaining walls 30" and below in height.

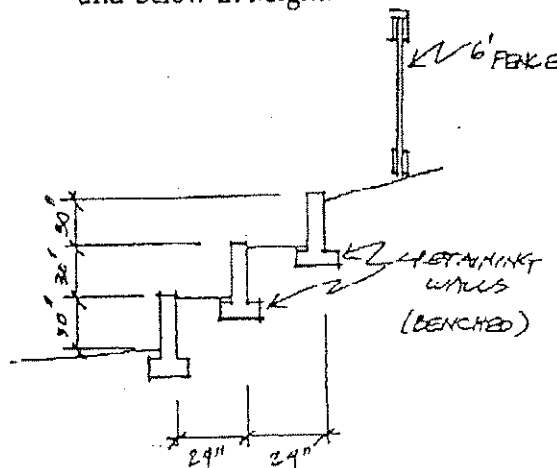


EXHIBIT D: Benched Walls

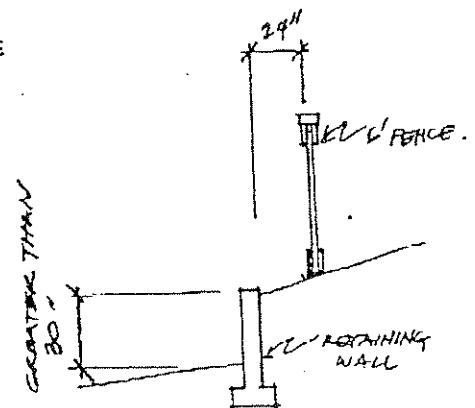


EXHIBIT E: Fences on Walls

6. ARCHITECTURE

- a. Buildings should exhibit varied elevations, rooflines, floor plans, setback and quality architecture to enhance the hillside setting. Front elevations should be articulated with well-proportioned windows, roof lines, entries, wall offsets, materials and/or their details. Side and rear elevations should also be attractively designed; design elements and materials should relate to the front elevation, with the level of articulation based on visibility from the surrounding areas. See Exhibit F.

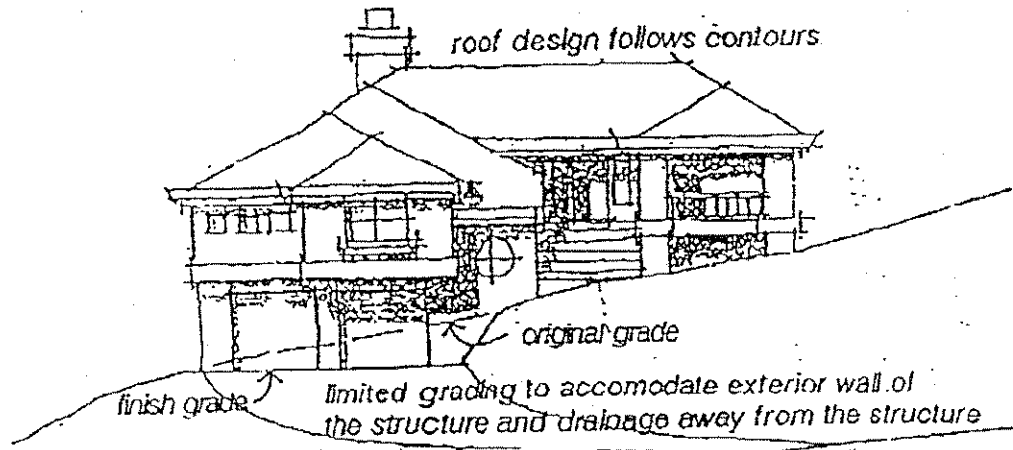
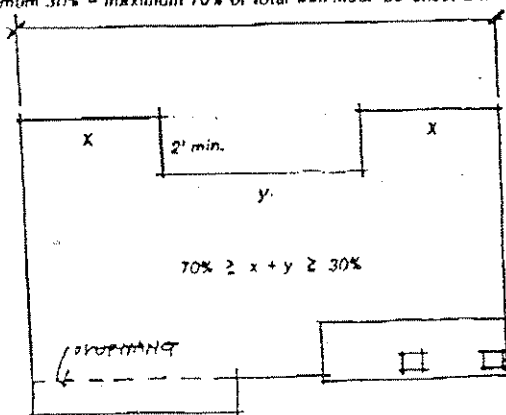


EXHIBIT F: Variation in Architecture

This exhibit is for illustration purposes only. All submitted construction documents shall contain necessary technical details.

- b. Wall off-sets and varying setbacks are encouraged to avoid flat wall planes and to provide shadow and architectural relief as shown in Exhibit G. A minimum of 30% and a maximum of 70% of the total wall area of any front, rear or street side elevation of the main building must be off-set a minimum of two feet, either vertically or horizontally. Off-sets for interior side elevations shall be encouraged. Projections such as decks, porches, balconies and patio covers etc., shall not be included in the wall area calculation. Wall area shall be defined as including the exterior walls of the main structure only, as shown in elevation view. Large wall areas should be punctuated with architectural features such as bay windows or chimneys.

minimum 30% - maximum 70% of total wall must be offset a min. of 2', either horizontally or vertically.



street side @ corner of

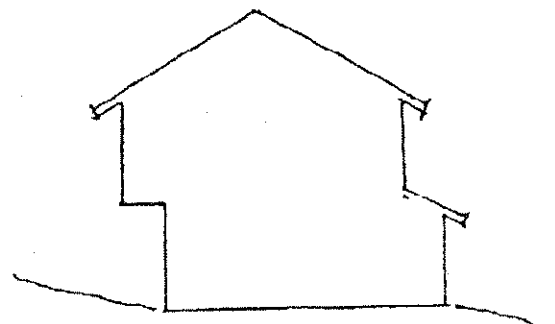


EXHIBIT G: Wall Offsets

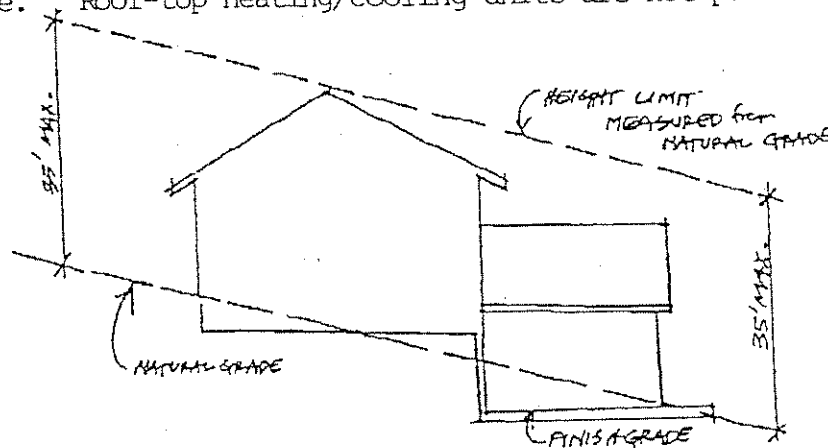
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- c. New structures, additions, and remodels should be architecturally compatible with surrounding development with respect to bulk, articulation, design, colors and materials.
- d. The use of colors, textures and materials that are highly reflective, garish, of intense chroma, vivid or insensitive to neighborhood character shall not be permitted.
- e. Colors, detailing and materials are encouraged to strive for consistency with the architectural theme or style of the structure. Piecemeal embellishment and frequent changes in material should be avoided.
- f. The color of external materials is encouraged to be in harmony with the landscape and background colors. Bright colors are not acceptable.
- g. Natural materials, such as brick or slumpstone should be used for foundations and on the lower portion of the structure to soften the elevations.

7. BUILDING HEIGHT

The maximum building height allowed, except as provided in paragraph c below, shall be 35 feet from all points as measured by the following formula: and illustrated in Exhibit H.

- a. All exterior perimeter portions of the building envelope must be measured from finished grade to the top of the structure directly above that point.
- b. All points within the building envelope must be measured from the existing natural grade to the top of the structure above that point;
- c. Roof pitched of 8:12 or less are well suited to this hillside design type. Building height caused by steeper pitched roof may vary from the 35 foot height limitation, if approved by the Design Review Board of the City of Rocklin.
- d. Avoid vertical features which add to the perception of structure height.
- e. Roof-top heating/cooling units are not permitted.



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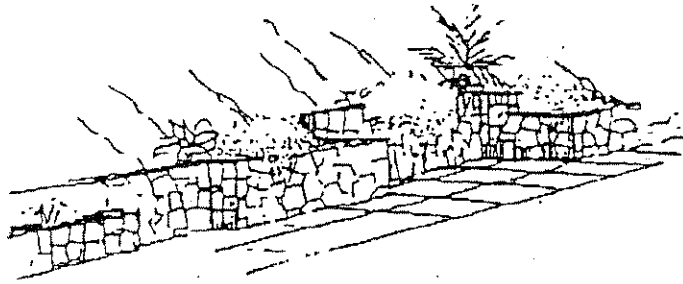
EXHIBIT H: Height Limit Measurement

8. DECKS

- a. Elevated decks should be well-integrated into the design of the dwelling. Avoid massive decks that stand out in the hillside. Reduce the bulk of an elevated deck by lowering its height or terracing the deck to follow the slope. Avoid use of exposed redwood posts and cross bracing and screen all exposed areas with lattice or vegetation.

7. FENCES

- a. Minimize length of solid fences and walls on hillsides.
- b. Use open rather than solid fence to reduce visual and structural bulk.
- c. Use earth tone colors and native, natural materials.
- d. Follow topography with wall and fence design and integrate natural vegetation or landscaping.
- e. Break landscape walls into low segments, stepping up or down the hill, as shown in Exhibit I.



This exhibit is for illustration purposes only. All submitted construction documents shall contain necessary technical details.

EXHIBIT I: Landscape Walls

10. LANDSCAPING

- a. Every feasible attempt shall be made to preserve existing natural features (i.e., trees, ridgelines, knolls, rock outcroppings and drainage courses) as a part of site design and development. Any project design proposing a change of grade under oak trees designed for preservation must be in accordance with the City's Oak Tree Ordinance including the submittal of a report from a certified arborist. The report shall evaluate the proposed design and its effect on the trees and provide specific mitigation measures.
- b. There shall be a minimum of one 15 gallon oak tree planted on each lot in the front or street side yard. This tree shall be installed prior to the approval of the final inspection for each residence and maintained by the property owner.
- c. Avoid planting trees and shrubs in a straight line to define property lines, driveways, or edges. Plants should be clustered informally to blend with the natural vegetation.

- d. On large lots, concentrate irrigated landscaping adjacent to the dwelling, and transition to more natural planting on the remainder of the lot.
- e. Irrigation system should be water efficient and emphasize the use of drip emitters, bubblers, and low precipitation spray heads. An automatic controller should be installed with all irrigation systems.
- f. Use native plant material in all new landscaping to the maximum extent possible.
- g. Entry street elements shall be limited to a residential scale, utilizing materials similar to those proposed within the landscape right-of-way areas.

APPENDIX 1

MINIMUM BUILDING PERMIT SUBMITTAL REQUIREMENTS THE HIGHLANDS CUSTOM LOTS 85-307

This checklist represents the minimum information necessary for the Planning Department to complete its plan check for all homes to be constructed in the Highlands subdivision (custom lots 85-307). The checklist is as comprehensive as possible. However, the Planning Department staff reserves the right to request additional information when necessary in order to complete its review. Please refer to the approved specific plan use permit design guidelines for clarification of the requirements in this subdivision (City Council Resolution).

1. ENGINEERED GRADING PLAN

- _____ natural topography (2 foot contours field verified by civil engineer)
- _____ finished grade (after construction)
- _____ percentage of slope, particularly where 10% or more
- _____ proposed building outline with finished floor elevations
- _____ proposed retaining walls (location, height and material)
- _____ drainage pattern
- _____ proposed fences (location, height and material)
- _____ natural features (both preserved and to be removed)

2. BUILDING ELEVATIONS

- _____ all building elevations
- _____ roof form/outline
- _____ roof pitch
- _____ building height (see specific plan use permit for definition)
- _____ vertical and horizontal elevation offsets
- _____ detail all deck or balcony structures (include understructure material detail)
- _____ building cross section on 15% or greater slopes showing relationship of building to existing and finished grades

3. LANDSCAPING PLAN

- _____ all preserved oak trees
- _____ 1 15-gallon oak tree in front yard