

ORDINANCE NO. 956

ORDINANCE OF THE CITY COUNCIL
OF THE CITY OF ROCKLIN APPROVING
A GENERAL DEVELOPMENT PLAN
(Northwest Quadrant I-80 / Sierra College Blvd.)
(Rocklin Commons / PDG-2006-01)

The City Council of the City of Rocklin does ordain as follows:

Section 1. The City Council of the City of Rocklin finds and determines that:

A. An environmental impact report for this project has been certified via City Council Resolution No. 2009-233.

B. The proposed general development plan is consistent with the City of Rocklin's General Plan land use element which designates the site as Retail Commercial (RC).

C. The proposed general development plan is consistent with and implements the policies of the City of Rocklin's General Plan, including the Housing Element.

D. The area is physically suited to the uses authorized in the proposed zone and general development plan.

E. The proposed general development plan is compatible with the land use/uses existing and permitted on the properties in the vicinity.

F. The land use/uses, and their density and intensity, allowed in the proposed zone and general development plan are not likely to create serious health problems or create nuisances on properties in the vicinity.

G. City has considered the effect of the proposed zoning and general development plan on the housing needs of the region and has balanced those needs against the public service needs of its residents and available fiscal and environmental resources.

Section 2. The City Council of the City of Rocklin hereby approves the adoption of the general development plan in the form attached hereto as Exhibits A and B and incorporated by reference herein.

Section 3. Within 15 days of the passage of this ordinance, the City Clerk shall cause the full text of the ordinance, with the names of those City Council members voting for and against the ordinance, to be published in the Placer Herald. In lieu of publishing the full text of the ordinance, the City Clerk, if so directed by the City Attorney and within 15 days, shall cause a summary of the ordinance, prepared by the City Attorney and with the names of the City Council members voting for and against the ordinance, to be published

in the Placer Herald, and shall post in the office of the City Clerk a certified copy of the full text of the ordinance, along with the names of those City Council members voting for and against the ordinance. The publication of a summary of the ordinance in lieu of the full text of the ordinance is authorized only where the requirements of Government Code section 36933(c)(1) are met.

INTRODUCED at a regular meeting of the City Council of the City of Rocklin held on December 8, 2009, by the following vote:

AYES: Councilmembers: Magnuson, Hill, Lund, Storey, Yuill
NOES: Councilmembers: None
ABSENT: Councilmembers: None
ABSTAIN: Councilmembers: None

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Rocklin held on January 12, 2009, 2009, by the following roll call vote:

AYES: Councilmembers: Magnuson, Lund, Hill, Storey, Yuill
NOES: Councilmembers: None
ABSENT: Councilmembers: None
ABSTAIN: Councilmembers: None



Scott Yuill, Mayor

ATTEST:


Barbara Ivanusich, City Clerk

First Reading: 12/8/09
Second Reading: 1/10/10
Effective Date: 2/10/10

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EXHIBIT A

REVISIONS AND ADDITIONAL REQUIREMENTS TO THE GENERAL DEVELOPMENT PLAN FOR ROCKLIN COMMONS (EXHIBIT B)

(Rocklin Commons/PDG-2006-01)

1. **PURPOSE** The Rocklin Commons project area located at the northwesterly quadrant of the Interstate 80 and Sierra College Boulevard interchange is a large, freeway oriented retail commercial development. This General Development Plan is intended to establish development standards, permitted, conditionally permitted, and prohibited land uses and encourage a creative and flexible approach to the development of the 40± acre property in a manner that integrates development within the site and surrounding development.

This General Development Plan is established per the provisions of Rocklin Municipal Code Chapter 17.60 PD Zone. Compatibility of this development with the surrounding commercial projects is addressed by establishing design standards and limiting potential land uses to those deemed to be compatible or potentially compatible with surrounding development.

The following conditions of approval are adopted as a part of the Rocklin Commons General Development Plan, and unless expressly stated otherwise, shall apply throughout the general development plan area. If inconsistencies occur between the provisions of Exhibits A & B as conditioned, and the Rocklin Municipal Code, the provisions of Exhibits A & B shall apply.

A. APPROVAL PROCESS

The following shall be the approval process for projects within the General Development Plan area and shall supersede all other processes.

In an effort to protect, incorporate, and implement the General Development Plan's (PDG) goals for the overall project, the PDG has been developed to assist the developer(s) and the City with the design, review and approval of the development for each individual building (lot). The intent is to have the developer incorporate the PDG's standards into the building and site design for each lot, and for the City to review each development proposals on individual lots for compliance with the PDG as part of the building permit process.

A pre-application meeting with the City's Planning and Building Divisions is required for any building with variations to the approved General Development Plan. It is further recommended that the pre-application meeting occur prior to locking into a precise building and site design. This will expedite the development

process by assisting the developer's architect and/or engineers understanding of these PDG and other City policies that may affect the project.

Application submittals to the City may need to include a site/grading plan showing existing grades, proposed finish grades, all proposed landscaping, proposed drainage and erosion control measures, driveway location hardscape, exterior architecture and public amenities, as well as the construction drawings for the proposed building. Mitigation measures to protect existing trees from construction impacts shall also be shown on the grading plan, if applicable. Staff will review this information against the requirements contained in the PDG and make a final approval if the proposed building and site designs are consistent with the approved PDG. The staff decision may be appealed to the Planning Commission and thereafter, to the City Council.

B. PROHIBITED USES:

The following uses are strictly prohibited

1. Amusement arcades
2. Billiards / pool parlor
3. Bowling alleys
4. Community care facilities
5. Community halls, places of worship or similar assembly uses
6. Funeral parlors, mortuary
7. Hospitals
8. Nightclubs
9. Schools (occupying greater than 3500 square feet)

The Community Development Director may determine certain uses or activities that are not explicitly stated above to be prohibited provided the use or activity has characteristics that are similar to those of the uses listed above.

C. PERMITTED SIGNS

1. Freestanding Signs

i. Freestanding signs oriented to Granite Drive:

a. Maximum Sign Area:

126 square feet

b. Maximum Number of Signs:

2 signs

c. Maximum Sign Height:

Fifteen feet.

ii. Freestanding signs oriented to Commons Drive:

a. Maximum Sign Area:

13 square feet

b. Maximum number of signs:

Two signs.

c. Maximum Sign Height:

8.5 feet

iii. Freestanding freeway signs

a. Maximum number of signs:

Two freestanding freeway signs.

b. Maximum Sign Height limitations and Maximum Sign Area:

1) One sign shall be a maximum of 74 feet tall and shall have a maximum of 365 square feet of sign area.

2) A second sign shall be a maximum of 55 feet tall and shall have no more than 404 square feet of sign area.

2. Granite Drive Triptychs

i. All text used on the Granite Drive Triptychs shall be community based messages and shall not be used as a commercial sign wherein the sign, wording, logo, or other representation names or advertises a business, location, product, service, or other commercial activity.

ii. All text used on the Granite Drive Triptychs must be approved by the City of Rocklin.

3. LED Lighting for Signs

i. All exterior signs shall use LED lighting or other lighting systems which provide equivalent energy efficiency.

D. PROHIBITED SIGNS

1. Open face channel letter or logo with exposed neon is not an acceptable sign approach or type.

E. PARKING LOT LIGHT POLE HEIGHTS

All parking lot light poles used along Granite Drive shall be a maximum of 20 feet high as measured from the ground to the top of the fixture. All other parking lot light poles shall be a maximum of 27.5 feet high as measured from the ground to the top of the fixture as generally indicated on the Photometric Plan, Sheet SE1P of Exhibit A of Design Review DR-2006-19.

F. PROJECT CONTACT INFORMATION

The project developer shall provide the Community Development Department with the contact information for the individual who will be assigned to report annually to the city regarding compliance with the provisions contained herein.

G. ALL STORES / AIR QUALITY REQUIREMENTS

1. All stores shall use natural gas, propane, or electricity in powering its material handling equipment (forklifts)
2. All stores with loading docks shall utilize delivery trucks that are powered by an auxiliary power unit that comes on when the trucks idle or shall provide an auxiliary electrical source for use when trucks are idling.
3. All stores shall use only natural gas for its primary back-up generators (a secondary, emergency fuel source is required, however, in the event of gas line rupture).
4. Any use incorporating refrigerant systems utilizing 200 pounds or more of refrigerant shall use a low-Global Warming Potential (GWP) refrigerant, or shall incorporate equivalent mitigation on a prorated square foot basis to offset the predicted GHG emissions of 1800 tonnes per year for a 60,000 square foot supermarket.
5. Only electric equipment shall be used for project landscaping maintenance and the project applicant shall provide on-site electrical charging stations / power outlets sufficient to operate the equipment.
6. All diesel trucks are prohibited from idling for more than five minutes and shall connect to an electrical power source to run any auxiliary equipment. Notification signage stating this prohibition on idling shall be posted at all loading dock and delivery areas.

EXHIBIT B

THE GENERAL DEVELOPMENT PLAN FOR ROCKLIN COMMONS (Dated October 6, 2009) is hereby approved subject to the revisions and additional requirements noted in Exhibit A

(Rocklin Commons/PDG-2006-01)

EXHIBIT A

FILE NO. PDG-2006-01



**ROCKLIN
COMMONS**
SIERRA COLLEGE BOULEVARD AND INTERSTATE 80

RECOMMENDED BY PLANNING COMMISSION
FOR APPROVAL ON _____

October 20, 2009 *SSA*

General Development Plan

APPROVED BY COUNCIL ON _____

December 8, 2009 *SSA*

OCTOBER 6, 2009



**DONAHUE
SCHRIBER**

R O C K L I N
C O M M O N S
General Development Plan

SIERRA COLLEGE BOULEVARD & INTERSTATE 80
City of Rocklin, California

October 6, 2009

DONAHUE SCHRIBER REALTY GROUP L.P.

ROCKLIN COMMONS

General Development Plan

Table of Contents	Pages IA-1B
Introduction	Page 2
General Requirements	Pages 3-4
Objectives	3
Building Permit Approval Process	4
Site Planning	Pages 5-8
Access	5
Building Limits	6
Parking Design Criteria	7
Principally Permitted Uses	8
Landscaping	Pages 9-23
General	
Landscape Objectives	9
Landscaping Concept & Guidelines	10
Landscape Areas	
Project Entries	11
Project Entries – Example	12
Transition Areas / Frontage Landscaping	13
Transition Areas / Frontage Landscaping – Example	14
Pedestrian Walkways / Parking Fields and Example	15
Retail Promenade	16
Retail Promenade – Example	17
Lifestyle Village and Example	18
Plazas and Example	19
Detention Basin	20
Detention Basin – Example	21
Site Lighting	Pages 22-23
Exterior Lighting Concept	22
Decorative Light Fixtures	23
Architecture	Pages 24-44
Concepts	24
Building Style Characteristics	25
Building Districts	26
Elements	27
Building Walls	28
Environmental Graphics (Optional)	29
Articulation	30
Building Color and Finishes	31
Color and Finishes - Exhibit	32

General Development Plan Table of Contents (continued)

Retail Promenade	
Massing and Articulation	33
Primary Major Tenant Entries	34
Secondary Major Tenant Entries	35
Secondary Entries and Covered Walkways	36
Service Areas and Garden Centers	37
Lifestyle Village	
Massing and Articulation	38
Outdoor Sales	39
Wall Types	40-44

The Sign Program Guidelines have been prepared as a component of this development plan and are attached as Appendix 'A.'

Introduction

Rocklin Commons is a master-planned +/-40 acre retail village and shopping center. The project is designed to create a vibrant and pleasant destination providing the citizens of Rocklin with a unique shopping and dining experience the entire family can enjoy. This site is located at the southwest corner of Sierra College Boulevard and Interstate 80.

Rocklin Commons will offer a variety of shopping choices to meet the sophisticated expectations of today and tomorrow's consumer as well as the requirements of major tenants and specialty retailers. Rocklin Commons is planned so as to create an active, attractive village environment and to enhance the shopping experience by delivering a streetscape of interesting building facades integrated with landscaped pedestrian pathways and public spaces for dining and strolling.

Rocklin Commons draws its design inspiration from the folding of two historically adjacent genres; Shingle and Stick-style architecture. This application is deliberately rustic in its interpretation, suggesting a more relaxed, informal style. Imbuing the shopping experience with a historical foundation, indigenous references and an intent to engage the community at large.



General Requirements

Objectives

This General Development Plan is established per the provisions of Rocklin Municipal Code Chapter 17.60 PD Zone. Compatibility of this development with the surrounding commercial projects is addressed by establishing design standards and limiting potential land uses to those deemed to be compatible or potentially compatible with surrounding development.

All provisions and definitions of the Rocklin Municipal Code (R.M.C.) shall apply to this project unless otherwise specified in this General Development Plan. Whenever there is a conflict between Title 17 of the R.M.C. and this General Development Plan, the provisions of the General Development Plan shall prevail.

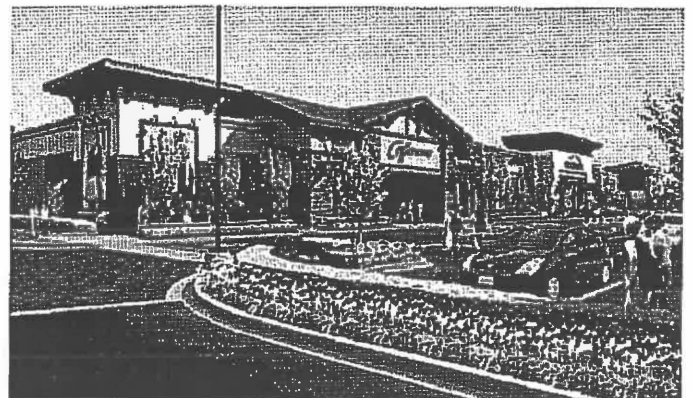
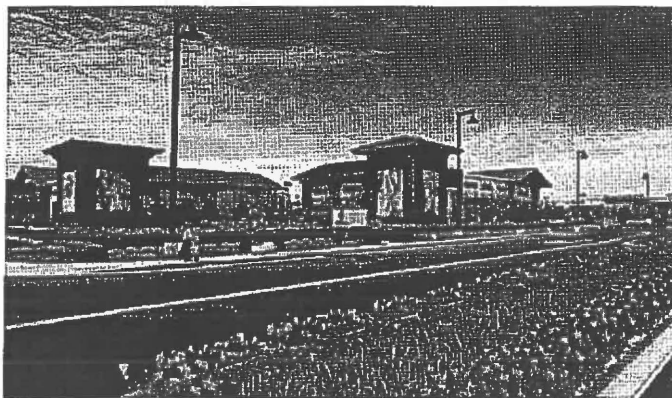
The objective of the site plan is to establish functional, attractive and effective organization of all buildings, circulation corridors, parking and service areas that will enhance the identity and efficiency of the project while relating to adjacent development. The project is designed to allow safe access and movement to, from and within the site for pedestrians and automobiles.

The objective for the landscape design is to create a pleasant and distinctive urban environment that compliments the site plan and building architecture, enhances building frontages, softens parking areas, screens service areas and maintains street continuity at points of ingress and egress to the project. The landscape design is intended to encourage low and medium water use, and xeriscape type plantings.

The architectural design is intended to create distinctive buildings appropriate to the endeavors and activities contemplated and permitted while maintaining an overall character which is largely consistent with forms and materials found in the surrounding area.

The objective of exterior lighting is to create a safe and distinctive nighttime environment while limiting adverse impacts on surrounding development.

The objective for exterior signage and environmental graphics is to communicate identity and provide information for tenants and patrons of the site in a coordinated fashion that avoids visual blight or chaos and needless visual competition. Signage and environmental graphics should be conceived as an integral part of the overall building design and should not be applied as an afterthought. The design of all graphics will be carefully considered in relation to the site's architecture and landscaping, as well as to the specific context of the location of the project.



General Requirements

Building Permit Approval Process

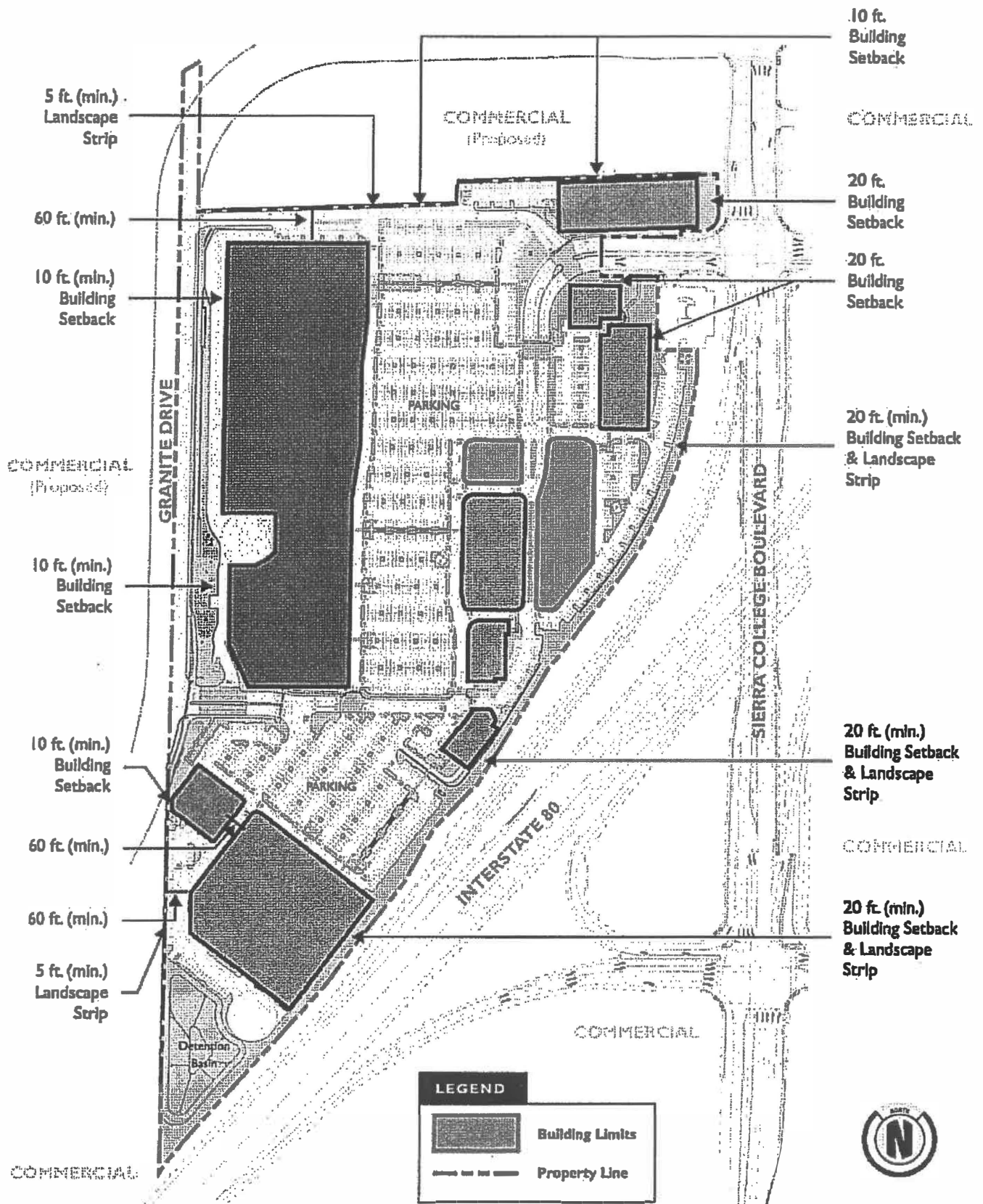
In an effort to protect, incorporate and implement the Development Plan's goals for the overall project, these Development Plans have been developed to assist the Developer(s) and City staff with the design, review and approval of the development for each individual building (lot). The intent is to have the Developer incorporate the Development Plan's standards into the building and site design for each lot, and for the City to review each development proposal on individual lots for compliance with the Development Plans as part of the building permit process.

A pre-application meeting with the City's Planning and Building Divisions is strongly encouraged for any building with variations to the approved General Development Plan. It is further recommended that the pre-application meeting occur prior to locking in to a precise building and site design. This will expedite the development process by assisting the Developer's architect and/or engineer's understanding of this Development Plan and other City policies that may affect the project.

Application submittals to the City may need to include a site/grading plan showing existing grades, proposed finished grades, all proposed landscaping, proposed drainage and erosion control measures, driveway location hardscape, exterior architecture and public amenities, as well as the construction drawings for the proposed building. Mitigation measures to protect existing trees from construction impacts shall also be shown on the grading plan, if applicable. Staff will review this information against the requirements contained in this Development Plan and make a determination as to whether proposed building and site designs are consistent with the approved Development Plan. Staff will consult with the Developer and their architect and/or engineer in an effort to resolve any inconsistencies between the proposal and the Development Plan. Final approval is granted by staff, unless appealed to the Planning Commission.

Site Planning

Building Limits



Site Planning

Parking Design Criteria

Purpose

To provide a sufficient number of stalls to accommodate the demands of the shopping center and the allowable used throughout the project. Off-street parking shall be provided in accordance with these Development Guidelines.

Off-Street Parking Requirements

The shopping center will allow for shared parking and cross access.

Single Tenant Retail Commercial Buildings	≥ 60,000 square feet: 4:1,000 gross square feet of floor area.
Mezzanine for Single Tenant Retail Commercial Buildings	4:1,000 gross square feet of floor area.
Office and Multi-tenant Retail Commercial Buildings	≥60,000 square feet: 5:1,000 gross square feet of floor area.
Retail Commercial, Restaurant, and Office Buildings	< 60,000 square feet: 5:1,000 gross square feet of floor area.

Uncovered sales areas shall provide 10 parking spaces for the first 5,000 square feet of unconditioned sales area plus 1 additional space for each additional 1,000 square feet up to a maximum of 20 spaces per building.

Compact Parking

No more than 30% of the required parking shall be compact stalls.

Handicap Parking

Parking design and requirements for handicapped parking shall follow the CBC and ADA standards.

Employee Parking

Where employee parking is required by an employer it shall be identified as employee parking.

The size and location of parking shall follow Typical Off-Street Parking Drawing No. 3-32, found in the Engineering Division Design Standards for the City of Rocklin.

Landscaped Areas

Landscape guidelines for the parking lot area are set forth in the landscape section of the GDP (General Development Plan).

Truck Loading and Unloading Area

All uses which receive large amounts of goods shall provide a loading and unloading area to handle the goods. The minimum size is 10' wide by 35' in length with 14' clear in height. No materials shall be stored outside of any building (except for areas designated specifically for outside storage of materials) for more than 24 hours.

Site Planning

Principally Permitted Uses

The Community Development Director may determine certain uses or activities that are not explicitly stated below to be permitted, conditional or prohibited, provided the use or activity has characteristics that are similar to those listed below.

RETAIL

Antique Shop
Apparel Store
Appliance Sales & Repair
Art Supply Store
Athletic Club/ Dance Studio (less than 3,000 sf)
Audio Visual Equipment
Auto Supply Store
Bakery
Banks & Financial Institutions
Barber Shop/ Beauty Salon
Bicycle Sales & Repair
Book & Stationary Store
Clothing & Costume
Convenience Store
Dry Cleaning
Electronic Appliances
Fast Food w/ Drive Thru
Florist
Furniture Store
Garden Supply Store
General Merchandise/ Department Store
Gifts & Notions
Grocery Store
Hardware Store
Hobby, Crafts, Stamps & Coins
Home Improvement
Hunting / Fishing Supply
Interior Decorating Supply
Jewelry and Metal Craft
Leather Goods & Luggage
Liquor Store
Lock & Key Shop
Lumber Yard (Indoor use only)
Mail Order Catalog Store
Medical / Dental Clinic
Music Sales & Repair
Office
Office Supply & Equipment
Paint & Wallpaper Store
Personal Services Establishments
Pet Shop & Supplies
Photo Equipment & Supplies
Plant Nursery
Plumbing Shop
Radio / Television Sales
Restaurant
Schools (less than 3,000 sf)
Shoe Sales & Repair
Sporting Goods Store
Tailor Shop
Toy Store
Travel Agency
Variety Store

CONDITIONAL USES

Athletic Club/ Dance Studio (over 3,000 sf)
Auto Repair (light)
Daycare Center
Exterior Storage & Materials
Fuel/ Service Station
Hotel/ Motel
Outdoor Display Sales
Outdoor Dining
Theaters
Veterinary Clinics

Landscape

General – Objectives

Landscape Objectives:

Provide visual screening of Detention Basin. Compliment existing adjacent commercial properties with like plant materials. Transplant and preserve existing oak trees as shown on the site plan.

Provide for human scale and visual organizations in parking lots.

Screen loading areas, service yards and utility equipment.

Reinforce major vehicular/pedestrian systems.

This Development Plan recognizes that the landscape plan is of primary importance to the design character of Rocklin Commons. The Development Plan is intended to promote the establishment of compatible and continuous landscape design to enhance, unify, and articulate the development.

The Development Plan is intended to provide for a neat and well maintained landscape appearance in all areas not covered by buildings or parking, to enhance the existing character of the site, and to minimize the adverse visual and environmental impacts of large paved areas as well as to promote water conservation.

Selection of shrub, ground cover and tree species shall be in accordance with the Development Plan and be appropriate for the local climate. The landscape concept shall encourage and frame the views of the project from the freeway, Granite Drive and Sierra College Boulevard, allowing visibility of tenant signage and storefronts and shall create interest to the drivers on Granite Drive as well as buffer the proposed project to the north.

Landscape

General – Concept

Landscape Concept:

Parking fields shall be landscaped to comply with the Development Plan, which consist of one tree for every 5 parking stalls.

Primary vehicular drives and major pedestrian circulation routes shall be articulated different from the parking field in order to reinforce the design theme, identify the circulation system as a way-finding element and to reduce the scale of the parking field.

Landscape enhancements at internal streets and pedestrian circulation routes may include any of the following:

- Ornamental tree and accent plantings
- Vertical tree plantings
- Trellis, Benches, and other site amenities, enhanced pavement
- Separation hedge along pedestrian promenades

Landscape Guidelines:

Landscape areas might be enhanced to meet any of the following goals:

1. Screening of parking areas, service zones, trash enclosures and / or mechanical equipment.
2. Meeting parking lot shade requirements as previously noted under "Landscape Concept".
3. Accenting main entry monuments or pole signage or walkways.
4. Framing views of building entrance or signage.
5. Re-routing traffic.
6. Specify plant material for erosion control.
7. Decomposed granite may be placed in non-turf planter areas.
8. A combination of bark, ground cover and/or jute netting may be placed along slopes that exceed 3:1.
9. Specify shrubs and perennials hardy enough to survive the pedestrian and vehicular traffic and to soften the geometric design of the parking lot.
10. Turf may be used as shown on the plan.
11. Weed and brush will be removed twice a year, once in the spring and once in the fall.
12. If wildflower and other seedling mixes are used during the time the sites are undeveloped, the sites shall be maintained in a neat appearance.

Landscape Project Entries

Location All entries to the site.

Purpose All vehicular entries to the site may be clearly defined by the use of formal rows of accent flowering trees, evergreen hedges, and colorful annuals. Taller backdrop trees may also be incorporated.

Trees

Botanical

Laurus nobilis
 Pistacia chinensis
 Pyrus spp.; 'Chanticleer'
 Acer rubrum 'Autumn Blaze'
 Prunus cerasifera 'Kravter vesuvous'
 Cupressus sempervirens
 Plantanus acerifolia 'Bloodgood'

Common

Grecian Laurel
 Chinese Pistache
 Flowering Pear
 Red Maple
 Flowering Plum
 Italian Cypress
 London Plane Tree

Shrubs

Nandina domestica spp.
 Buxus m. japonica 'Winter Gem'
 Xylosma c. 'Compacta'
 Dietes spp.
 Berberis thunbergii 'Atropurpurea'
 Rhapsiolepis indica spp.
 Muhlenbergia rigens
 Ligustrum spp.
 Pittosporum spp.
 Lavandula spp.
 Phormium tenax spp.
 Abelia grandiflora
 Penesetum setaceum

Heavenly Bamboo
 Japenese Boxwood
 Xylosma
 Fort-Night-Lily
 Red-Leaf Barberry
 Indian Hawthorn
 Deer Grass
 Privet
 ncn
 Lavender
 New Zealand Flax
 Glossy Abeia
 Fountain Grass

**Ground
Covers**

Hemerocallis hybrids
 Annuals
 Rosemarinus officinalis 'prostratus'
 Rosa spp.
 Trachelospermum jasminooides
 Juniperus h. 'wiltonii'

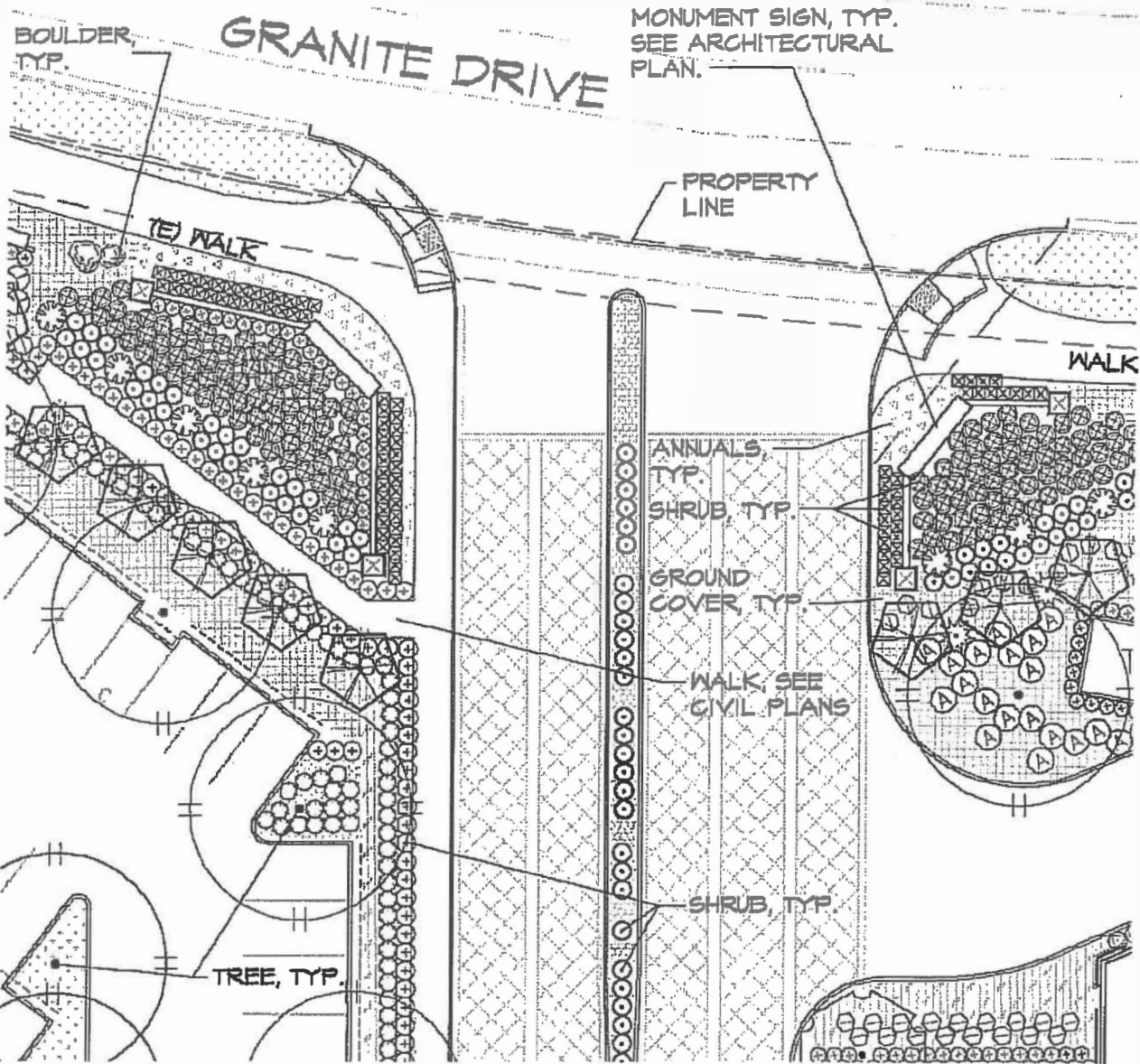
Daylily
 Annuals
 Rosemary
 Carpet Rose
 Star Jasmine
 Juniper

Annuals

Juniperus horizontalis

Juniper

Landscape Project Entries



SAMPLE LANDSCAPE PLAN DETAIL

Landscape

Transition Areas / Frontage Landscaping

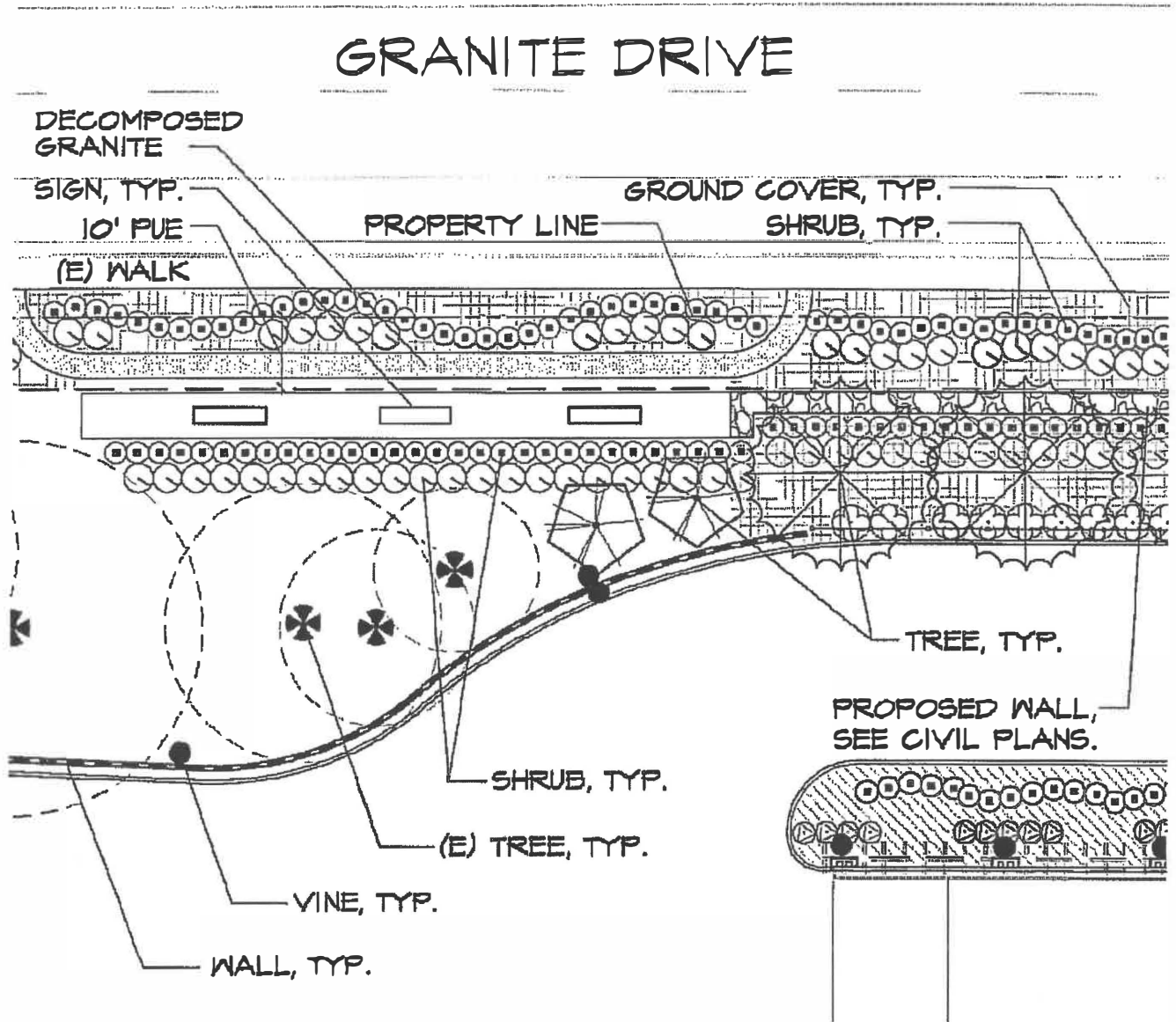
Location Project frontage west of Sierra College Boulevard and Interstate 80 and east of Granite Drive.

Purpose To soften and create visual transition between passing vehicular traffic and the project and provide screening to buffer the back of buildings.

Trees	<u>Botanical</u>	<u>Common</u>
	Quercus douglasii	Blue Oak
	Platanus acerifolia	London Plane
	Cedrus Deodara	Deodar Cedar
	Pyrus c. 'chanceleer'	Flowering Pear
	Pistacia chinensis	Chinese Pistachio
	Laurus nobilis	Sweet Bay
Shrubs		
	Agapanthus africanus	Lily of the Nile
	Arbutus unedo spp.	Dwarf Strawberry
	Berberis thunbergii spp.	Red-Leaf Barberry
	Buxus microphylla spp.	Boxwood
	Cistus spp	Rockrose
	Dietes bicolor	Fortnight Lily
	Dietes vegeta	Fortnight Lily
	Escallonia spp.	Escallonia
	Juniperus spp 'San Jose'	San Jose Juniper
	Lavandula angustifolia spp.	Lavendar
	Ligustrum spp.	Privet
	Euonymus spp.	Euonymus
	Grevillea Noelli	Grevillea
	Pittosporum tobira	Pittosporum
	Prunus caroliniana	Laurel Cherry
	Raphiolepis indica	Indian Hawthorne
	Viburnum tinus spp.	ncn
	Xylosma congestum spp.	Xylosma
	Phormum tenax spp.	Flax
Ground Covers		
	Arctostaphylos spp.	Manzanita
	Buccharis pilularis	Coyote Bush
	Cotoneaster spp.	Cotoneaster
	Rosmarinus officinalis	Rosemary
	Trachelospermum jasminoides	Star Jasmine
	Mahonia pepus	Oregon Grape
	Myoporum Parvifolium	Myoporum
	Decomposed Granite	Decomposed Granite

Landscape

Transition Areas / Frontage Landscaping



SAMPLE LANDSCAPE PLAN DETAIL

Landscape

Pedestrian Walkways / Parking Fields

Location The area between the proposed Retail Promenade and Lifestyle Village / Parking Lot areas as identified on the site plan.

Purpose Major pedestrian walkways shall be clearly defined by the use of formal rows of upright accent trees. These walkways shall have a minimum 4ft. Wide clearance from any obstructions, such as vehicle overhangs. Pedestrian access throughout the site should be distinguished from driving surfaces. Parking fields shall be landscaped to comply with the Development Plan which consists of one tree for every 5 parking stalls.

Trees

Botanical

- Ginkgo biloba
- Platanus acerifolia 'Bloodgood'
- Acer rubrum 'Autumn Blaze'
- Pistacia chinensis
- Laurus nobilis
- Pyrus c. 'Chanticleer'
- Cercis canadensis

Common

- Maidenhair Tree
- London Plane Tree
- Red Maple
- Chinese Pistache
- Sweet Bay Laurel
- Flowering Pear
- Eastern Redbud

Shrubs

- Agapanthus orientalis
- Myrsine africana
- Xylosma congestum

- Lily of the Nile
- African Boxwood
- Compact Xylosma

Ground Covers

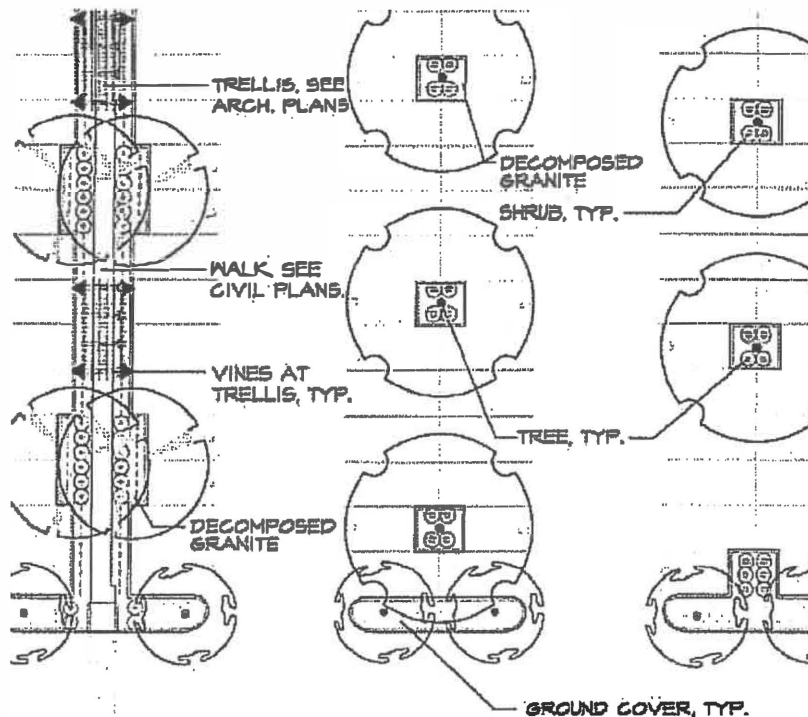
- Hemerocallis hybrids
- Decomposed Granite

- Daylily
- Decomposed Granite

Vines

Wisteria Sinensis

Chinese Wisteria



SAMPLE LANDSCAPE PLAN DETAIL

Landscape

Retail Promenade

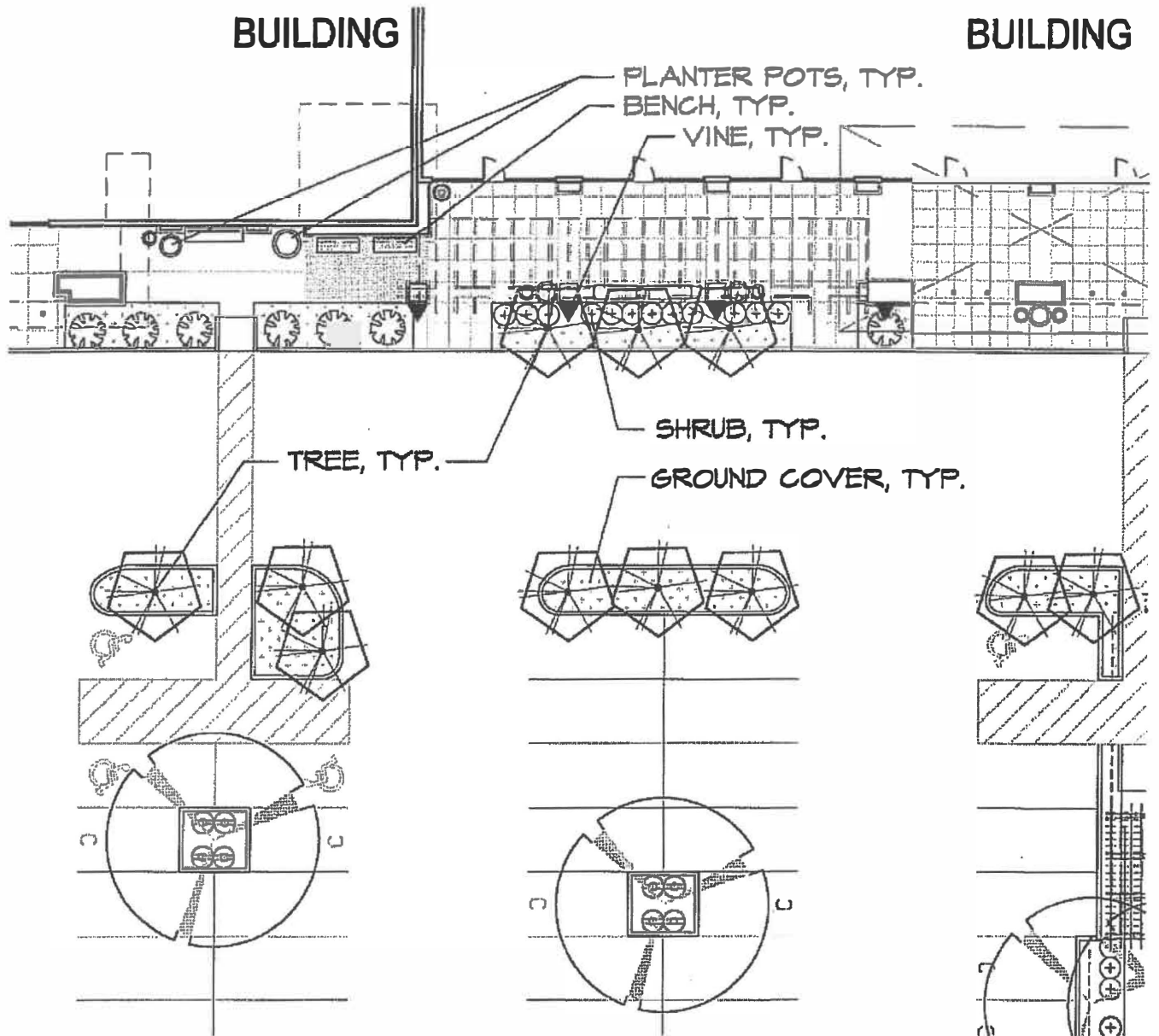
Location The area between the main parking field and the Retail Promenades.

Purpose The Retail Promenade serves to connect the Tenant entries and shall be designed to accommodate substantial pedestrian traffic. Rest areas along the route may include planter pots, benches, trash receptacles, bollards and varied plantings. Planting shall allow views of all signage, provide scale, color, texture and soften the impact of the built environment. Planter pots shall be a minimum of 48in. in height. Trees may be placed in groupings to avoid blocking Tenant entries and signage and to differentiate the circulation pattern from the parking field.

Trees	<u>Botanical</u>	<u>Common</u>
	Pyrus c 'Chanticleer'	Flowering pear
	Cupressus sempervirens	Italian Cypress
	Arbutus unedo spp	Strawberry Tree
	Acer palmatum	Japanese Maple
Shrubs	Agapanthus orientalis	Lily of the Nile
	Buxus m. japonica 'Winter Gem'	Winter Gem Boxwood
	Escallonia spp.	Escallonia
	Nandina domcstica spp.	Heavenly Bamboo
	Euonymus spp.	Euonymus
	Grevillea noelii	Grevillea
	Juniperus chinensis spp.	Juniper
	Ligustrum spp.	Privet
	Prunus caroliniana	Laurel Cherry
	Eriogonum fasciculatum	California Buckwheat
	Myrtus communis	Dwarf Myrtle
	Kniphofia uvaria	Red Hot Poker
	Myrsine africana	African Boxwood
	Xylosma congestum 'compacta'	Compact Xylosma
	Berberis thunbergii	Japanese Barberry
Ground Covers	Annuals	Annuals
Vines	Distictis buccinatoria	Blood Trumpet Vine
	Rosa banksiae 'Lutea'	Lady Bank Rose
	Trachelospermum spp.	Jasmine

Landscape

Retail Promenade



SAMPLE LANDSCAPE PLAN DETAIL

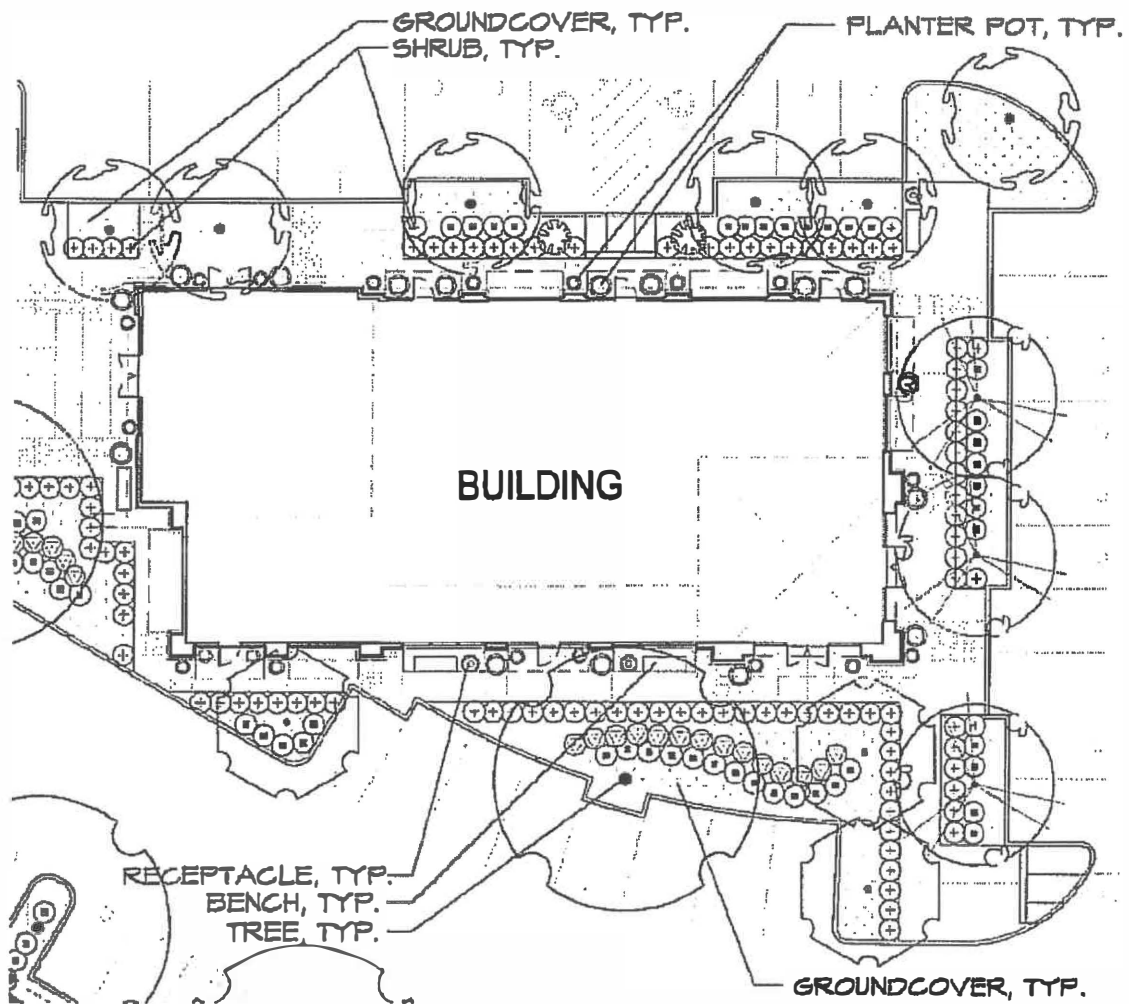
Landscape

Lifestyle Village

Location Individual Pads as permitted by the Development Plan.

Purpose To require each Pad to meet the Development Plan's shade requirements within the parcel lines and use planting material permitted and coordinated with those used throughout the project. Enhanced landscaping, in addition to berming and/or screening wall, shall be provided at drive-thru locations where appropriate to screen vehicle headlights. Building sites that are not built upon or improved shall be maintained in a clean and neat appearance. The entire site will comply with the City of Rocklin's water conservation ordinance.

Shading Each Tenant and Pad must meet the Development Plan's shade requirements within the parcel lines and use planting material permissible under the Plan and compatible with those used throughout the rest of the center. Enhanced landscaping shall be provided at drive-thru locations on top of a berm or adjacent screening wall adjacent to the drive-thru aisle.



SAMPLE LANDSCAPE PLAN DETAIL

Landscape

Plazas

Location Between various Pads.

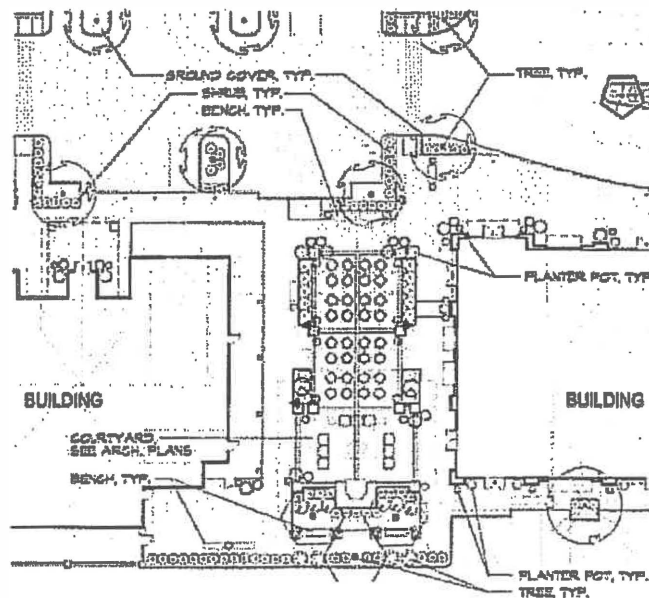
Purpose The treatment of this area provides for outdoor patios and gathering spaces. The landscaping in this zone shall be designed to create comfortable spaces with tables, trash receptacles, benches, trellises and planter pots. Pots shall be a minimum of 48in. in height.

Trees	<u>Botanical</u>	<u>Common</u>
	Pyrus c 'Chanticleer'	Flowering pear
	Magnolia stellata	Star Magnolia
	Pistacia chinensis	Chinese Pistache
	Cupressus sempervirens	Italian Cypress
	Laurus nobilis	Sweet Bay Laurel

Shrubs	Muhlenbergia rigens	Deer Grass
	Dietes vegeta	Fort-Night_Lily
	Lavandula angustifolia	Dwarf Lavender
	Ligustrum spp.	Privet
	Nandina domestica	Dwarf Heavenly Bamboo
	Rosa floribunda 'Iceberg'	Iceberg Rose
	Raphiolepis indica	Indian Hawthorne
	Pittosporum spp.	Ncn
	Berberis thunbergii spp.	Barberry
	Xylosma congestum 'compacta'	Compact Xylosma

Ground Covers	Hemerocallis hyp.	Daylily
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Vines	Trachelospermum jasminoides	Star Jasmine
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SAMPLE LANDSCAPE PLAN DETAIL

Landscape

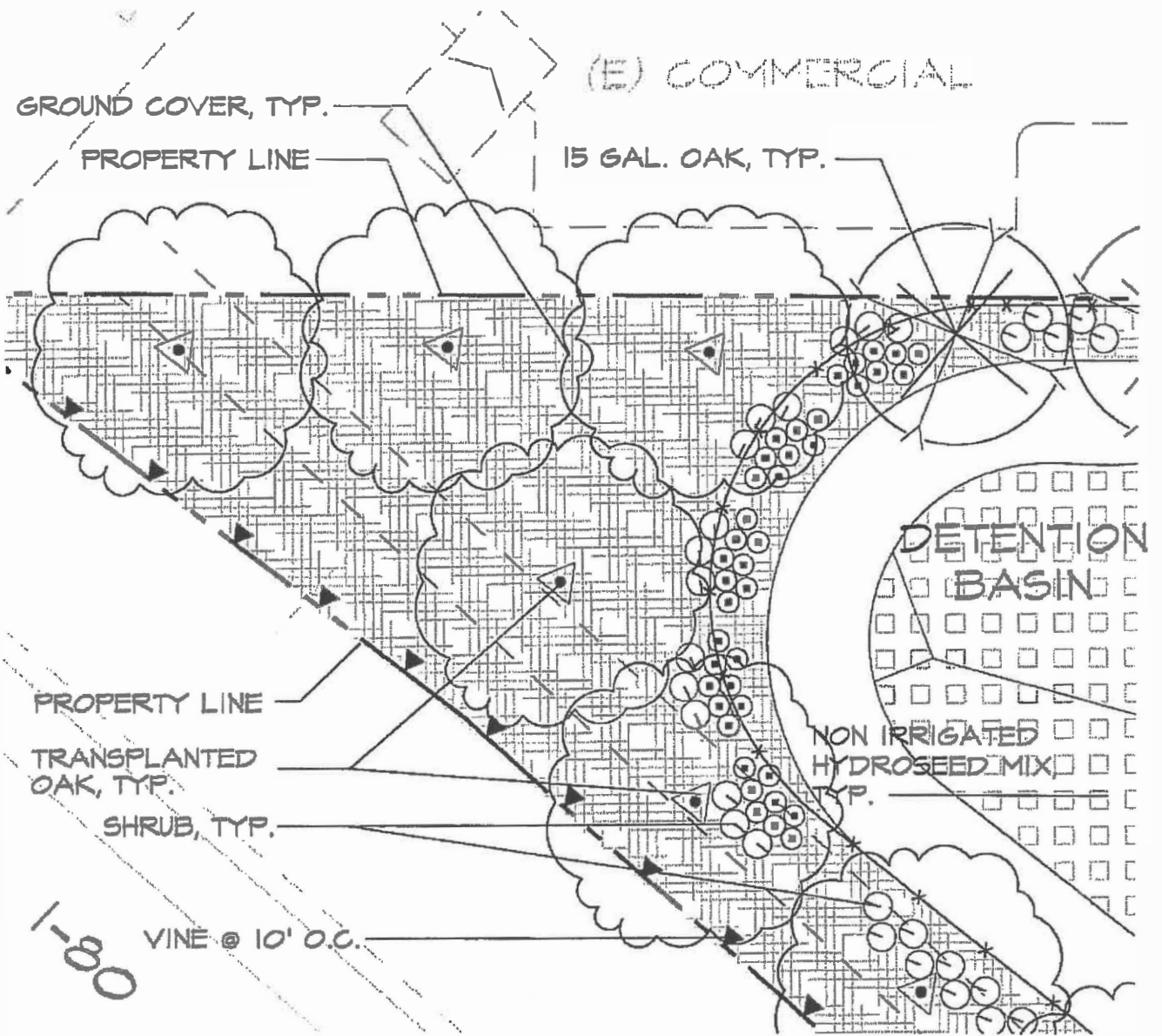
Detention Basin

Location The area adjacent to the south and west boundaries of the property.

Purpose The landscape along the south and west property lines shall be designed to provide a buffer from the adjacent commercial use and Interstate 80. This zone shall be densely planted with evergreen and deciduous trees and shrubs to provide an appropriate screen between the properties and the freeway. The areas to the north and east side of the basin shall be planted with native oaks or transplanted oak trees from the site.

Trees	<u>Botanical</u>	<u>Common</u>
	Sequoia sempervirens 'Aptos Blue'	Coast Redwood
	Quercus wislizeni	Interior Live Oak
	Tilia cordata	Little Leaf Linden
Shrubs	Euonymus alata	Burning Bush
	Berberis thunbergii	Barberry
	Grevillea spp.	Grevillea
	Prunus caroliniana 'Bright n' Tight'	Carolina Cherry
	Pittosporum tobira	Mock Orange
	Escallonia spp.	Escallonia
	Juniperus spp.	Juniper
	Ligustrum spp.	Privet
	Agapanthus orientalis	Lily of the Nile
	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood
	Eriogonum fasciculatum	California Buckwheat
	Myrtus communis	Dwarf Myrtle
	Nandina domestica	Dwarf Heavenly Bamboo
	Kniphofia uvaria	Red Hot Poker
	Raphiolepis indica 'Bollerha'	India Hawthorn
Ground Covers	Arctostaphylos spp	Manzanita
	Baccharis pilularis	Dwarf Coyote Bush
	Ceanothus g. h 'Yankee Point'	Carmel Creeper
	Mahonia repens	Dwarf Oregon Grape
	Coprosma	Coprosma
	Myoporum parvifolium	Myoporum
	Juniperus spp.	Juniper
	Osteospermums fruiticosum	African Daisy
	Non-Irrigated Hydroseed	Erosion Control Mix
Vines	Trachelospermum jasminoides	Star Jasmine

Landscape Detention Basin



SAMPLE LANDSCAPE PLAN DETAIL

Site Lighting

Exterior Lighting Concept

27½ ft. Mounting Height, Decorative Single-Head Fixture with 400W Metal Halide Lamps and House-Side Shield Cut-off Along Adjacent Retail Property Line.

Parking Lot Lighting to be 27½ ft. Mounting Height, Decorative 1-3 Headed Fixtures with 400W Metal Halide Lamps.

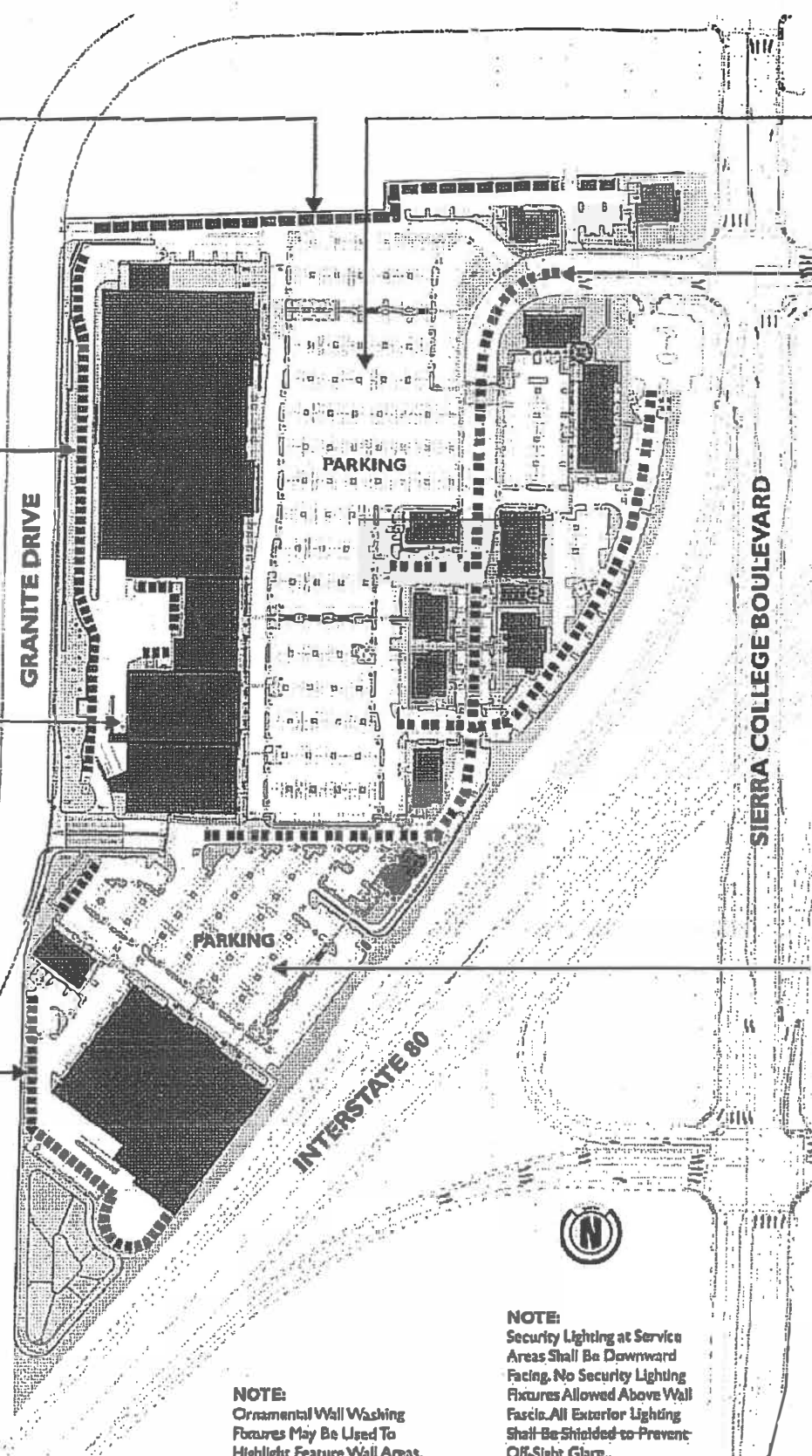
Primary Drive Lane Lighting To Be 27½ ft. Mounting Height, Decorative Single-Head Fixture with 400W Metal Halide Lamps.

20ft. Mounting Height, Decorative Single-Head Fixture with 150W Metal Halide Lamps and House-Side Shield Cut-off Along Granite Drive Property Line.

Wall Mounted Security Lighting at Service Areas (May Be Adjustable) with 150W Metal Halide Lamps. Any Non-Decorative Security Lighting Must Be Screened From Public View By a Wall.

20ft. Mounting Height, Decorative Single-Head Fixture with 150W Metal Halide Lamps and House-Side Shield Cut-off Along Granite Drive Property Line.

Parking Lot Lighting to be 27½ ft. Mounting Height, Decorative 1-3 Headed Fixtures with 400W Metal Halide Lamps.

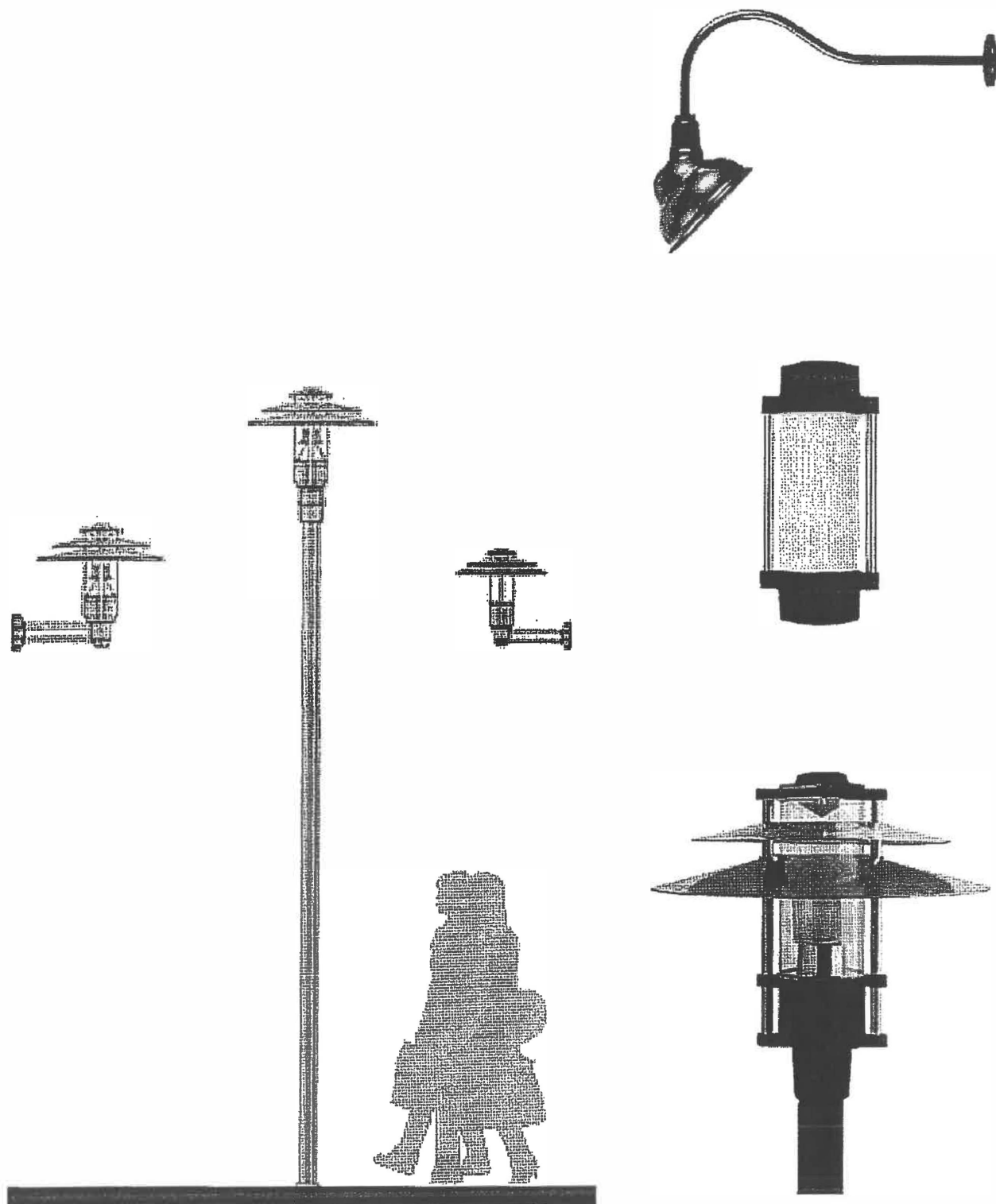


NOTE:
Ornamental Wall Washing Fixtures May Be Used To Highlight Feature Wall Areas.

NOTE:
Security Lighting at Service Areas Shall Be Downward Facing. No Security Lighting Fixtures Allowed Above Wall Fascia. All Exterior Lighting Shall Be Shielded to Prevent Off-Sight Glare.

Site Lighting

Decorative Light Fixtures



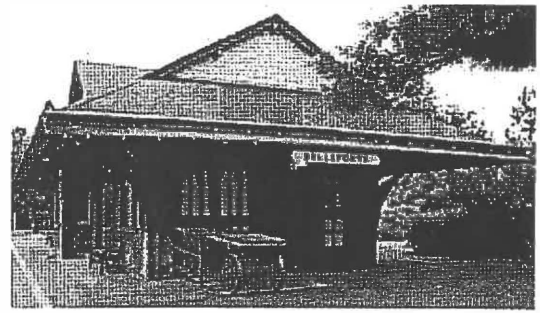
Architecture

Concepts

The place-making sensibility of Rocklin Commons aspires to adapt the practicality of the late 19th-century American domestic architecture for a contemporary retail experience. Many of the details featured in period Stick and Shingle style buildings are applicable to a pedestrian-friendly retail environment. Large overhangs along storefronts provide shoppers with shelter from the sun and rain. The materials used in this shopping center replicate the wood and metal structures of the past. Clapboard siding, standing-seam metal roofs, and brick and stone veneers all work to transfer the 19th-century "Bracketed Style" into the 21st-century shopping center.

Smaller scaled structures featuring Stick or Shingle Style designs, typically use a gable roof with broad overhangs to protect pedestrians from the weather. The overhangs project from the building on multiple elevations and are supported by braces and brackets. These exposed roof members feature chamfering and are finished with articulated ends. Decorative half-timbering, horizontal siding and shingles laid in a staggered pattern are often used on portions of the exterior walls, contained within the indications of the major members of the structural frame. A distinctly American vernacular base of design; plain yet neat, modern and comfortable.

As applied to buildings larger in scale and mass, similar elements are present but their details are simplified to retain an appropriate balance. Most such design queues are applied at a pedestrian level on these larger buildings to provide continuity in the architecture between all of the buildings, while acknowledging the design intent at a higher elevation. This approach provides a comprehensive design solution that addresses the expectations of all involved.



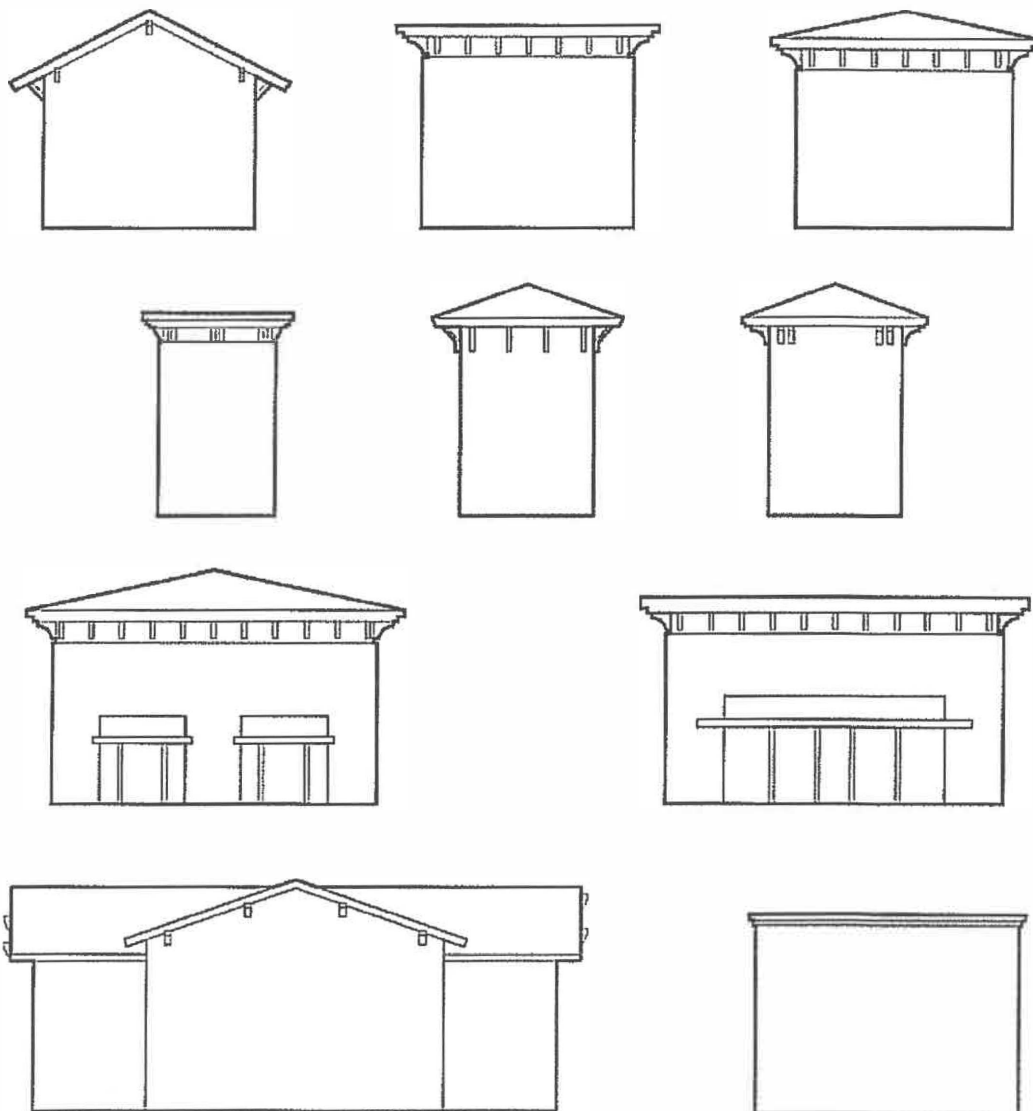
Architecture

Building Style Characteristics

The shingle and stick style are to be used as the primary architectural influences for the building designs of Rocklin Commons. This style is noted for celebrating the honesty of form and the purity of line.

The exterior elements should be informal and may be asymmetrical. The use of natural looking materials, decorative braces and gable roof elements, decorative half-timbering, natural or manufactured stone, built out arcades, trellis, canopies, awnings and irregular roof lines with eaves on several levels should be considered in the design of the primary building elevations.

Differentiation in wall surface through the use of alternating materials, plane changes, a screed and/or trim line and color change is favored. This may be evidenced both horizontally or vertically and could be enhanced through the use of landscaping to break up lineal façades. Suggested profiles of entry, corner, roof line and parapet are indicated below:



Architecture

Building Districts

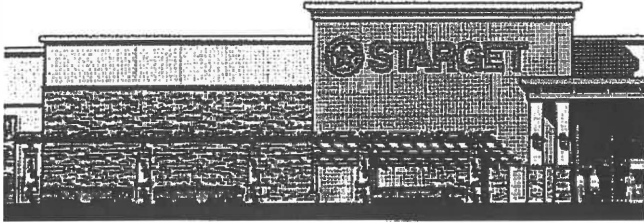
Individual buildings shall be grouped into two distinct districts.

Retail Promenade : Located adjacent to the western and southern property lines, this District contains the largest retail spaces and components of the project. The architecture of buildings within this District shall accommodate a hierarchy of retailers to reflect the promotional value of these tenants. Primary Major Tenants (tenants occupying in excess of 80,000) shall command the largest presence in terms of wall height, sign height, aggregate sign area, and size of entry statement. Buildings for Secondary Major Tenants (tenants occupying less than 80,000 SF but more than 10,000 SF) shall have significant architectural massing and presence, second only to the Primary Major Tenants.

Lifestyle Village: These areas are immediately adjacent to the freeway and/or at the primary entrances to the project. These Village Clusters are integral to the project and central to the shopping experience. They will have a significant impact on the public perception of the project. The architecture of buildings within this District shall reflect the characteristics of its primary components (specialty retail and food) while still adhering to the overall themes of the site architecture. The planned multi-tenant building clusters will result in unique opportunities of varied massing and tenant identification while relating to the consumer on a pedestrian scale.

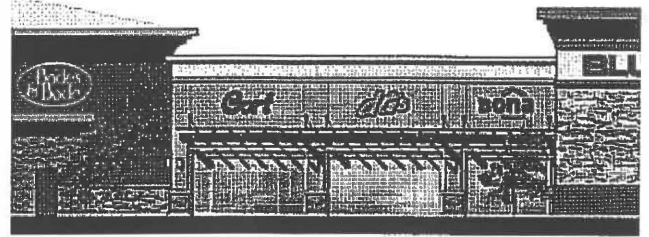
Architecture

Elements: All Building Districts



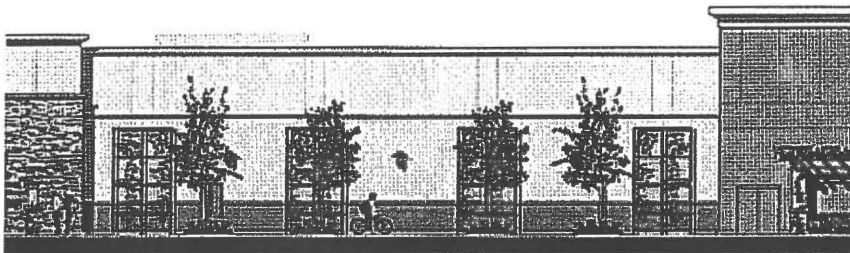
Cornices:

Cornice elements are encouraged to articulate the building form and provide variety to differentiate each Primary Tenant.



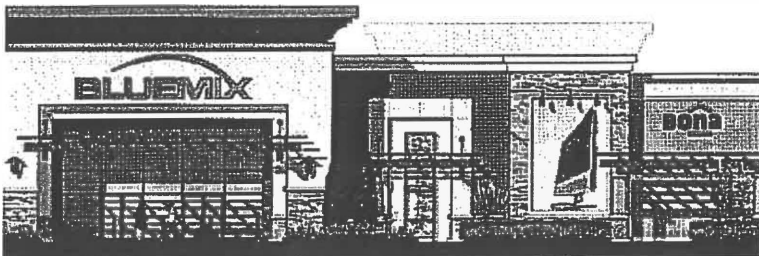
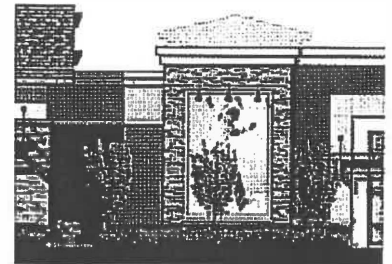
Building Corners:

A change of material and parapet height shall accentuate Primary Major Tenant building corners.



Wall Transition Zone:

A uniform wall height may occur at each building along pedestrian walkways. Where individual tenant walls meet, there may be a transition. An expansion joint cover shall be provided, painted to match the building color.



Canopies and Awnings:

A variety of canopy forms are encouraged along the pedestrian walkways. These forms include suspended canopies, trellises and canopies supported by columns. Awnings are encouraged to provide shade.



Architecture

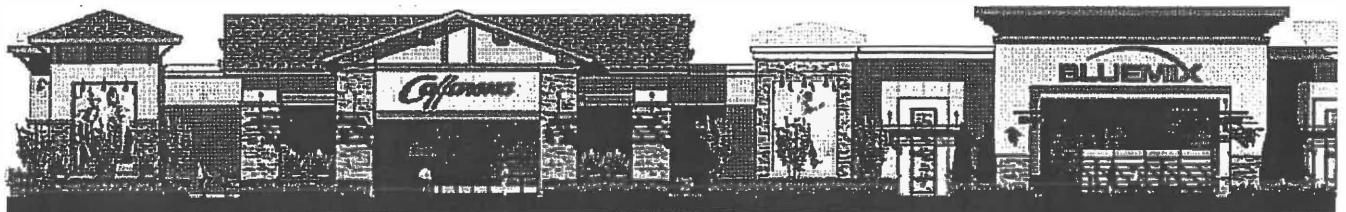
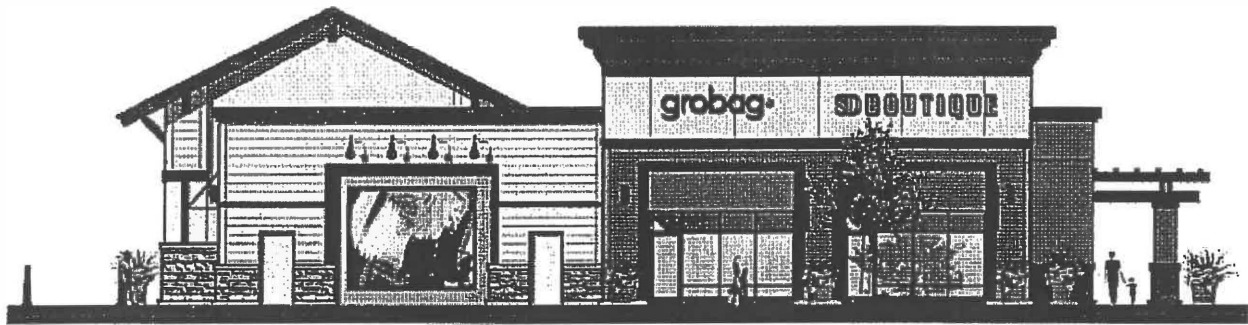
Building Walls: All Building Districts

Parapets: Parapet heights are intended to screen roof-mounted equipment from adjacent roadways and properties to the extent reasonably possible given the grade differentials unique to this site. Changes in parapet height shall be used to enhance tenant entries, provide tenant identity, and articulated building elements.

Materials: All colors and materials shall be selected from the approved material legend. Wall finish materials may consist of concrete, masonry, cement plaster, or stone. Rustic building materials such as natural stone, veneer systems, or textured stucco are permitted. Glass shall be clear, light gray tinted, or spandrel glass.

Building Colors: Colors, materials, and finishes shall be coordinated on the exterior elevations of all buildings to maintain and promote continuity of the design themes while allowing for unique tenant presentations. Concrete, and plaster surfaces shall be painted.

Accent Colors: Accent colors may be used to identify and differentiate each tenant's entry area. These colors may be used for signage, signage backdrops, metal wall systems, canopies, building corners as well as for the modular articulation of the building.



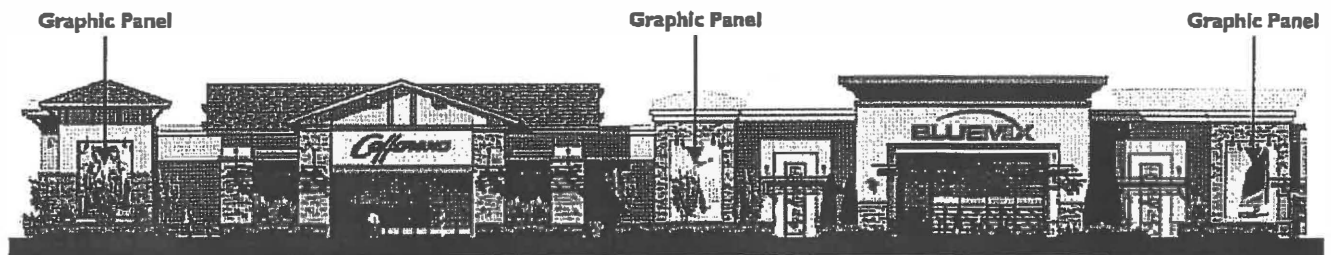
Architecture

Environmental Graphics (Optional): All Building Districts

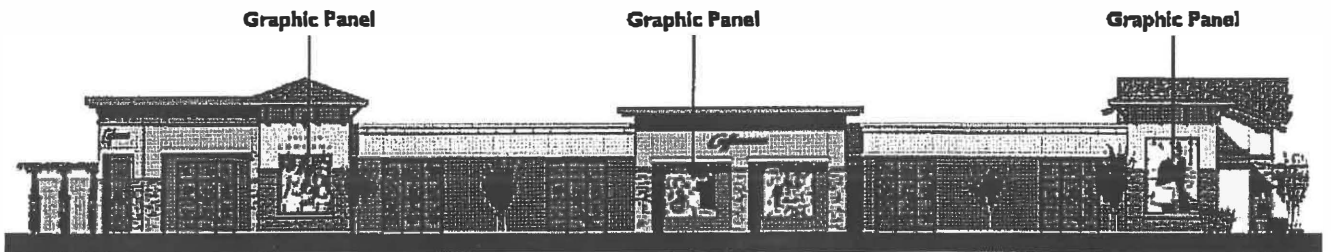
Purpose: Throughout Rocklin Commons, there are certain areas designated for large scale environmental graphics. These environmental graphics shape the center by telling its story as people move through its spaces. Bright, colorfully pleasing images of retail shopping will be consistent in thematic detail throughout the project. Color variations may provide each tenant with unique identities while maintaining the architectural integrity of the project. Environmental graphics communicate identity and information and help to foster customer loyalty. They are a stepping stone to additional business and commercial opportunities. They are strongly encouraged and intended to create a visual link of color and lighting to the tenant buildings. These graphics are designed, installed and maintained by the Developer. The visual content will vary by location and may include lifestyle images with tenant logos, not to exceed 15% of the graphic image or community events at the discretion of the Developer. No images containing violent or explicit content shall be allowed.

Configuration: Varying sized, single-sided, externally illuminated, digital print on commercial grade vinyl material stretched over frame.

Lighting: Externally illuminated.



EXAMPLE 1



EXAMPLE 2



EXAMPLE 3

Architecture

Articulation: All Building Districts

Buildings in all districts shall be articulated with three components.

Building Base Component: The lower area of the building façade shall be pedestrian scaled and consistent in thematic detail throughout the project. The height of this component shall be generally consistent within each District.

Wall Articulation Component: This area above the building base shall have articulation generally consistent for each building in each District. Color and material variations may provide each tenant with unique identities.

Tenant Entry Component: This component shall focus on each individual tenant's identity and will incorporate each tenant's brand and style while maintaining the architectural integrity of the project.

Hardscape: To enhance the architecture, the hardscape in front of the buildings may utilize both natural grey concrete with a broom finish and concrete accent pavers.

Building Materials

Exterior Cement Plaster With Light Dash or Sand Finish	Metal Reveal
Exterior Cement Plaster With Smooth Steel Trowel Finish	Canvas Fabric Awning
E.P.S. Molding / Cornice / Trim With Smooth Plaster Finish	Concrete Curbs
Smooth Concrete Masonry Units (CMU or Veneer)	Aluminum Storefront System
Split-Face Concrete Masonry Units (CMU or Veneer)	Clear Tempered Float Glass
E.I.F.S. (Exterior Insulation and Finish System)	Spandrel Glass
Pre-Coat Concrete Wall Panels / Tilt-up Panels	Light Grey Tinted Glass
Precast Trim	Architectural Metal Canopy / Trim
Manufactured Stone Veneer	Decorative Metal Grille / Railing
Brick Veneer	Wood
Fiber Cement Horizontal Siding	Standing Seam Metal Roof
V-Cut Reveal w/ Chamfered Edge	Jerusalem Tile / Limestone
	Concrete Roof Tile
	Copper Accents
	Concrete Pavers
	Vinyl Coated Wire Mesh (for Perimeter Fencing)

Architecture

Building Colors & Finishes: All Building Districts

PAINTS

www.sherwin-williams.com

- P01 SW 7102 "White Flour"
- P02 SW 7012 "Creamy"
- P03 SW 6665 "Gardenia"
- P04 SW 6679 "Full Moon"
- P05 SW 6659 "Captivating Cream"
- P06 SW 6680 "Friendly Yellow"
- P07 SW 6674 "Jonquil"
- P08 SW 2865 "Classical Yellow"
- P09 SW 6675 "Afternoon"
- P10 SW 6668 "Sunrise"
- P11 SW 6130 "Mannered Gold"
- P12 SW 6669 "Yarrow"
- P13 SW 6662 "Summer Day"
- P14 SW 7728 "Green Sprout"
- P15 SW 7729 "Edamame"
- P16 SW 6117 "Smokey Topaz"
- P17 SW 6096 "Jute Brown"
- P18 SW 6349 "Pennywise"
- P19 SW 6068 "Brevity Brown"
- P20 SW7025 "Backdrop"
- P21 SW 6083 "Sable"
- P22 SW 6335 "Fired Brick"
- P23 SW 0010 "Wickerwork"

- P24 SW 0022 "Patchwork Plum"
- P25 SW 6393 "Convivial Yellow"
- P26 SW 6145 "Thatch Brown"
- P27 SW 6408 "Wheat Grass"

METALS

www.aepaper.com

- M01 "Cool Colonial Red"
- M02 "Cool Hemlock Green"
- M03 "Cool Zactique II"
- M04 "Cool Weathered Copper"
- M05 "Cool Metallic Champagne"
- M06 "Cool Red"

VENEER STONE

- S01 Jerusalem Tile - Pietra Di
- S02 Coronado Stone - Idaho Drystack "Boulder Grey"
- S03 Pacific Clay - Velour "Red Flashed"
- S04 Coronado Stone - Idaho Drystack "Carmel Mountain"

AWNINGS

www.sunbrella.com

- F01 "Mahogany"
- F02 "Wheat"
- F03 "Nutmeg"

STAIN

www.sherwin-williams.com

- ST01 SW 3511 "Cedar Bark"
- ST02 SW 3541 "Harbor Mist"

MASONRY

www.basaltite.com

- C01 Basaltite D101 - Split Face
- C02 Basaltite D219 - Smooth Face
- C03 Basaltite D375 - Split Face
- C04 Basaltite D693 - Split Face

ROOF TILE

www.eagleroofing.com

- R01 Eagle Roofing - Bel Air "Concord Blend" 4602

PRECAST CONCRETE

www.quickcrete.com

- PC01 Quick Crete "MissionWhite" - C9-T1
- PC02 Quick Crete "Natural" - C1-T1
- PC03 Quick Crete "Latex" - C3-T1

STOREFRONT

www.aradisa.com

- SF01 "Bone White"
- SF02 "Light Champagne"
- SF03 "Clear"
- SF04 "Standard Medium Bronze"
- SF05 "Standard Dark Bronze"

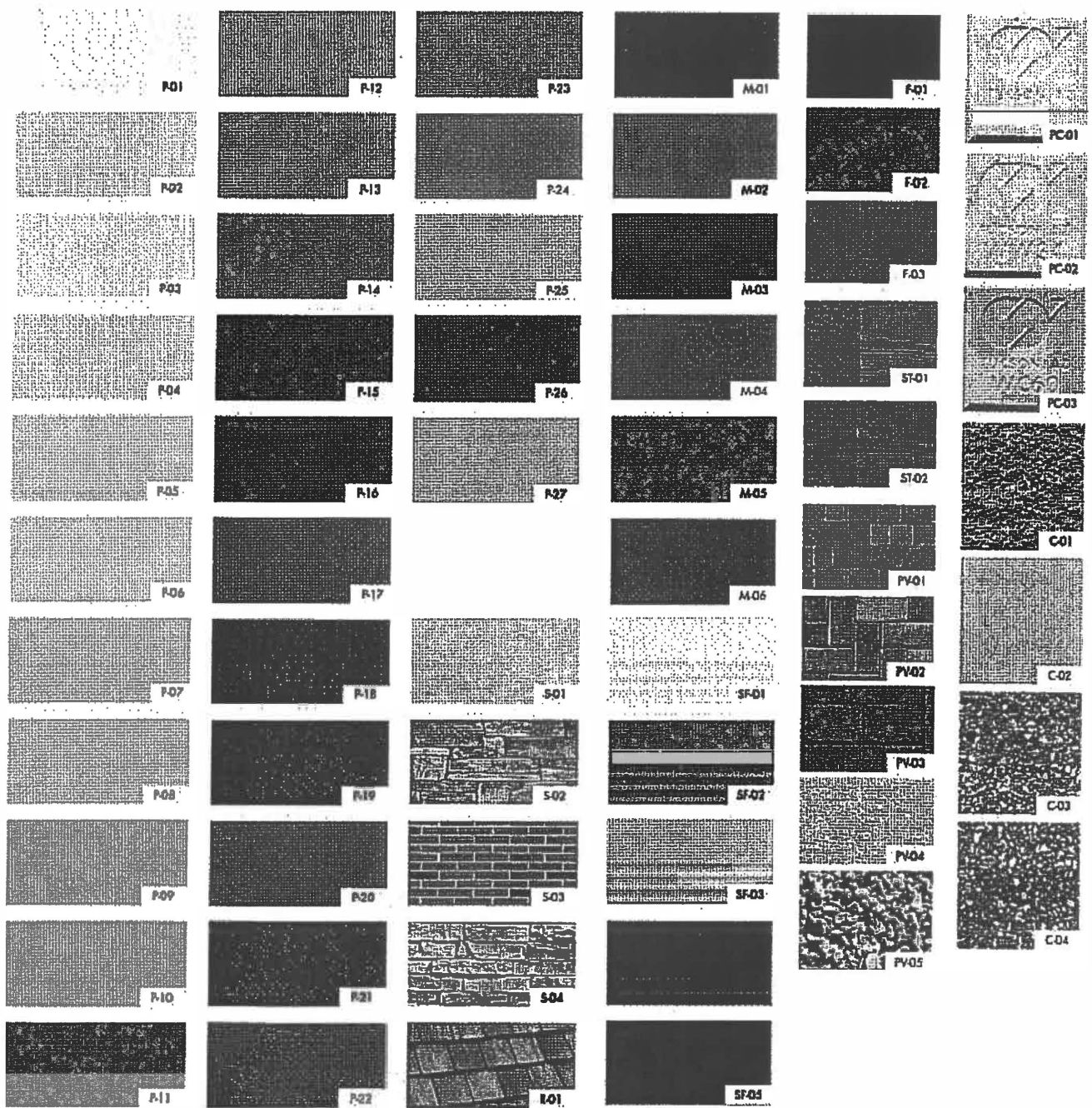
PAVERS/ HARDSCAPE

www.basaltite.com

- PV01 San Francisco Cobblestone "Positano"
- PV02 San Francisco Cobblestone "Carmel Blend"
- PV03 San Francisco Cobblestone "Marin"
- PV04 Concrete - Broom Finish "Natural"
- PV05 Decomposed Granite

Architecture

Building Colors & Finishes: All Building Districts



ROCKLIN
COMMONS
SIEKPA COLLEGE BOULEVARD @ INTERSTATE 60

Architecture

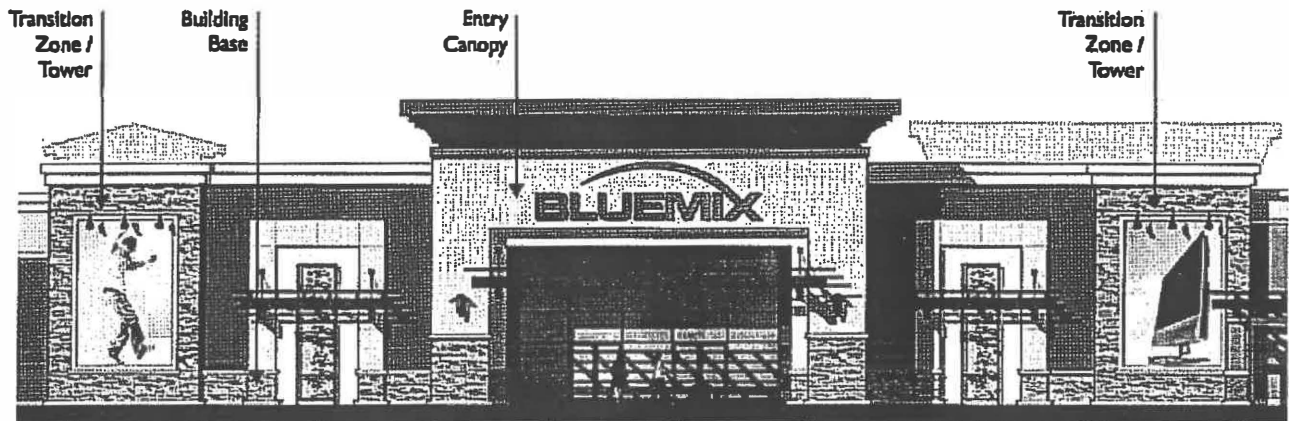
Retail Promenade: Massing and Articulation

Building Mass:

Where possible, building mass in this District shall be stepped at each Primary Major Tenant and Secondary Major Tenant Entry. Special treatments at corner and parapet elements, tenant entries, and a series of tower structures shall provide vertical articulation for the project. Strong horizontal elements are encouraged to tie together the vertical elements.

Approximate Building Heights:

Primary Major Tenant Tower:	46ft. (max.)
Primary Major Tenant Parapet:	34ft. (max.)
Secondary Major Tenant Tower:	35ft. (max.)
Secondary Major Tenant Parapet:	32ft. (max.)
Multi-use Tenant Architectural Feature:	35ft. (max.)
Multi-use Tenant Parapet:	26ft. (max.)

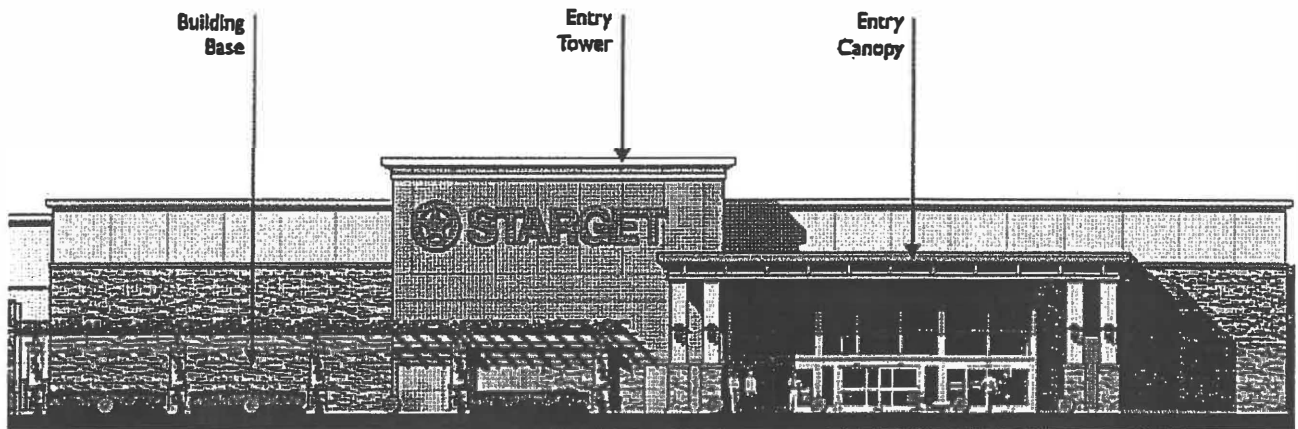


Articulation:

The building base should generally be a consistent height and may vary at transition zones or entry elements with offset wall planes. A building should incorporate a combination of elements consistent with the overall project.

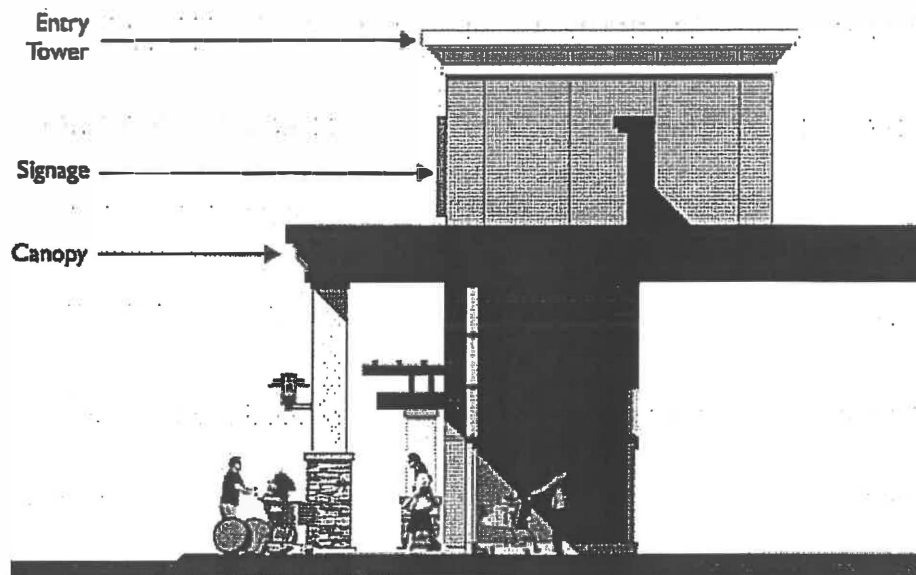
Architecture

Retail Promenade: Primary Major Tenant Entries



Elevation:

Primary Major Tenant entries may be defined by single or multiple building masses and may be partially or fully clad in stone, with greater articulated detail at the entry. Roof overhangs are encouraged. A strong horizontal element (in a form of canopy or molding) is encouraged to connect with the entry element.



Section:

The signage backdrop shall be located above the main entry or could be integrated into the canopy. The height of the canopy may vary. Variety is encouraged for the tenant canopies and signage backdrop.

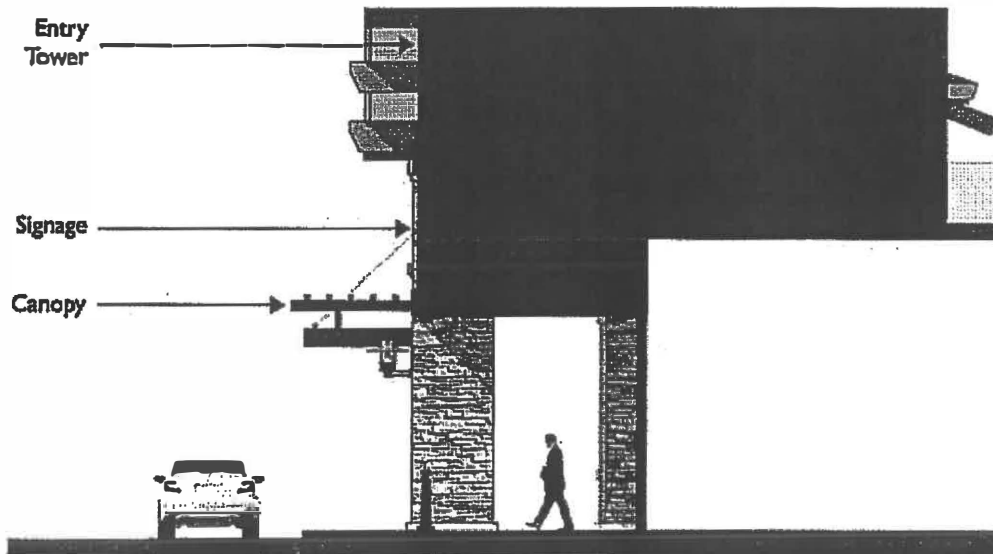
Architecture

Retail Promenade: Secondary Major Tenant Entries



Elevation:

These tenant entries are similar in detail to those for the Primary Major Tenant entries. The difference is in the entry canopy width, height, and text size for graphics. (See signage guidelines)

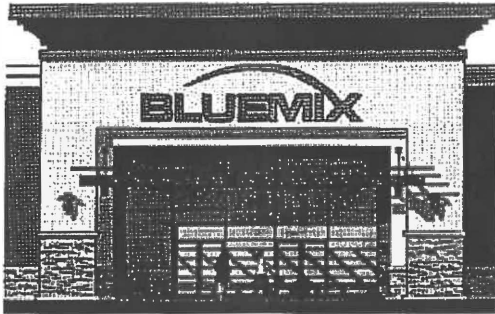


Section:

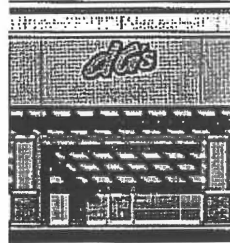
Variety is encouraged for tenant canopies and signage backdrop.

Architecture

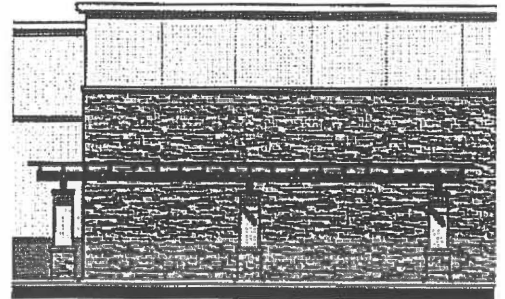
Retail Promenade: Secondary Major Entries and Covered Walkways



Suspended Canopy



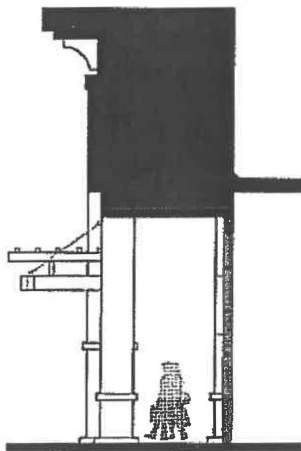
Suspended Trellis



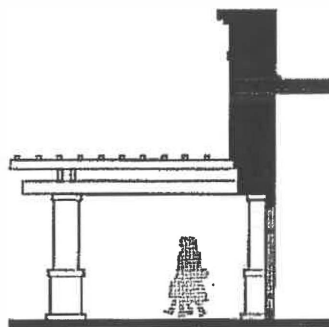
Free Standing Trellis

Elevation:

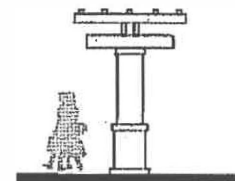
Secondary entrances along the pedestrian walkway shall be covered by a canopy or awning. A variety of forms are encouraged.



Suspended Canopy



Suspended Trellis



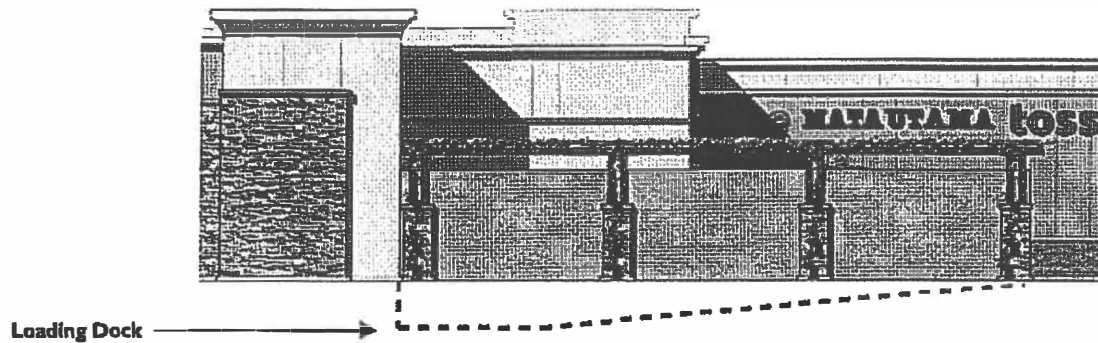
Free Standing Trellis

Section:

A variety of canopy forms are encouraged.

Architecture

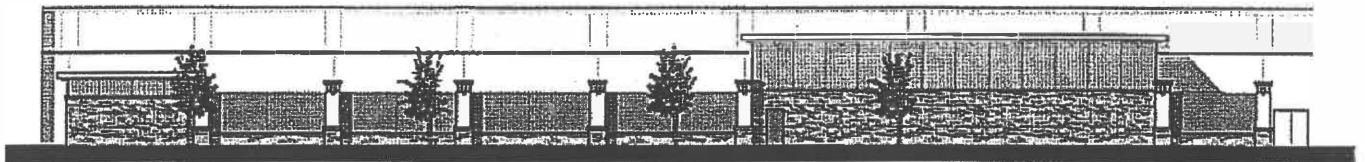
Retail Promenade: Service Areas and Garden Centers



Service Areas: Building walls at service areas and away from pedestrian walkways and view corridors shall be compatible with the architectural vocabulary of the Retail Promenade.

Building Base Component: Shall match color and height of wall base along the Retail Promenade. Wall texture and articulation may be simplified.

Articulation: Wall materials, color, and articulation may be simplified to be compatible with the wall base articulation. Parapet heights are intended to screen roof-mounted equipment from adjacent roadways and properties. Trash, recycling, and other equipment enclosures shall be of split faced CMU block on the visible side. Minimum height of enclosures shall be 8'-0". Loading docks shall have a solid wall.



Garden Centers: Garden Center enclosures shall be integrated into the architectural vocabulary of the District and of the tenant.

Articulation: The painted steel structure/enclosure shall continue the modular articulation of the tenant's building to a height necessary to screen material beyond.

Materials: Fencing may be painted ornamental metal or vinyl coated metal grilles with a continuous stone/brick veneer base. Indoor plant enclosures within garden centers, if visible, shall be compatible with the architectural theme of the Retail Promenade.

Hardscape: Outdoor sales / displays / storage areas must be identifiable by a change in hardscape color and/or material (as shown in approved designated areas) and shall be compatible with the architectural vocabulary of the Retail Promenade.

Architecture

Lifestyle Village: Massing and Articulation

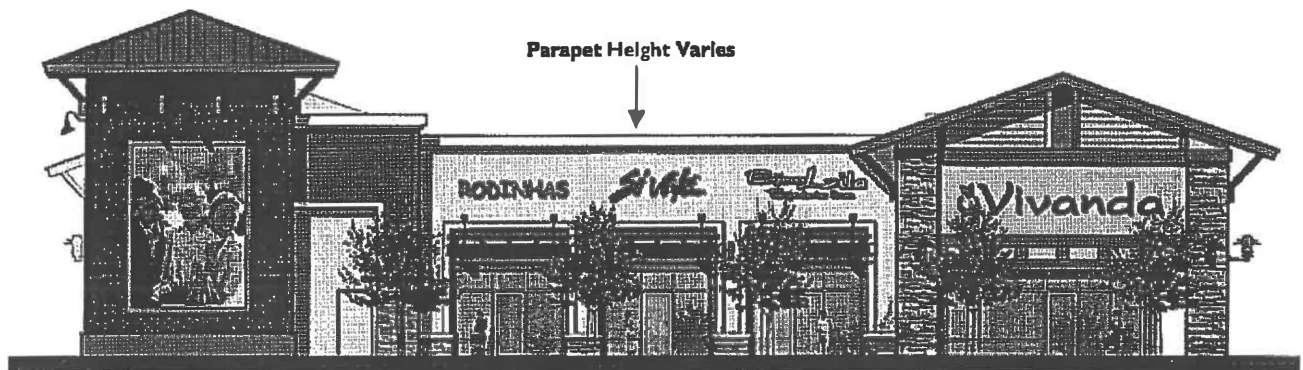
Building Mass:

This District shall be developed as a cluster of building masses. The roof line shall be the primary feature extending beyond the walls. Asymmetrical building mass may be arranged outward rather than upward. Tenant entries shall be defined by a canopy, covered walkway, awning or tower element. A variety of roof forms are encouraged. The dominant forms shall be the entry towers which are encouraged to be visible from all directions. Specialty treatments at the building corners, parapet elements and the tenant entries shall provide additional vertical articulation.

The height of any building shall be measured perpendicular from the finished floor elevation to the top of the roof structure, including any screening, parapet, penthouse, mechanical equipment or similar appurtenance located on the roof of such building.

Approximate Building Heights:

Parapets at Main Building:	30ft. (max.)
Tower Elements / Architectural Features (With or Without Roof Elements):	35ft. (max.)



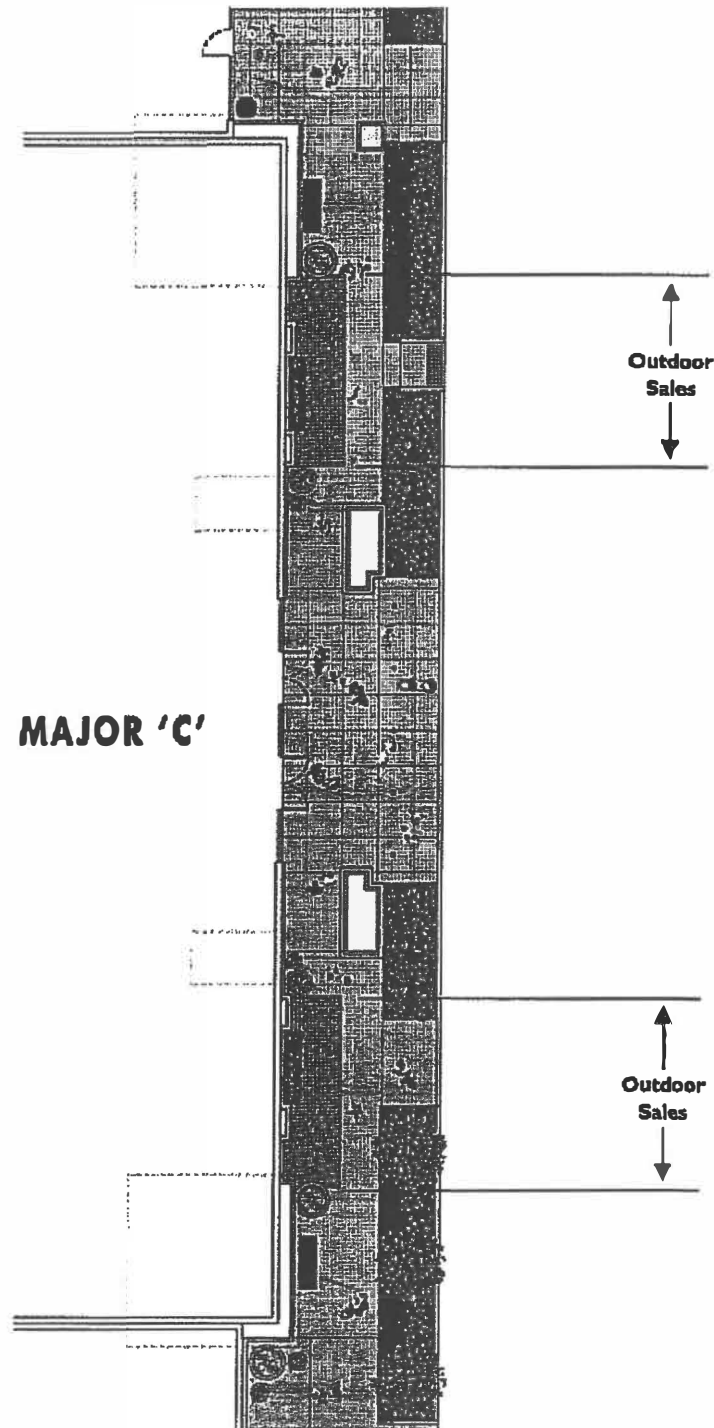
Articulation:

Building base component and wall articulation criteria shall be similar to the Retail Promenade. A building shall incorporate a combination of elements consistent with the overall project. Elements may include canopies, awning, low pitch roof and deep roof overhang, cornices, building accent colors, towers and planter base.

Architecture

Outdoor Sales: All Building Districts

Hardscape: Outdoor sales areas must be identifiable by a change in hardscape color and/or material and shall be compatible with the architectural vocabulary of the project. Sufficient room for ADA path of travel shall be provided at all times.



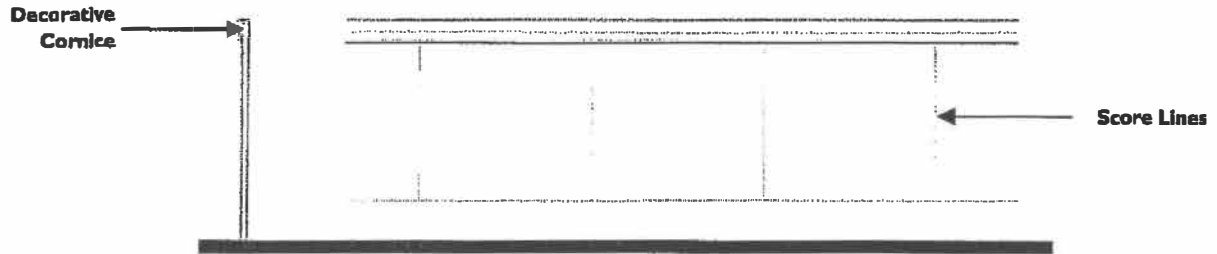
EXAMPLE I

Architecture

Wall Types

Building Walls:

Perimeter walls to be constructed of CMU with either stucco or EIFS finish. An alternative to this wall system is pre-cast concrete panels. Walls should use score lines as a decorative element and be capped with a cornice.



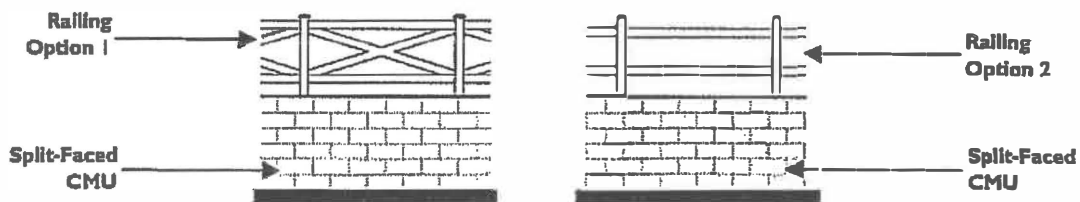
EXAMPLE - CMU Wall with Stucco Finish



EXAMPLE - Pre-Cast Concrete Wall

Retaining Walls, Site Perimeter Walls and Fence:

Walls located along the property line providing a barrier may be constructed from either 8" CMU (with split-faced finish on the public side and precision finish on the commercial side at a service drive) or alternatively, a keystone split-faced retaining block may be used in lieu of CMU. A pre-cast decorative cap shall be provided in either instance and pillars spaced as shown on the plan. Depending on the location of the wall, there may be a need for a 42in. railing on top. Walls that are visible to the general public shall be split faced finish on both sides. The site perimeter fence adjacent to I-80 is existing chain link to remain. Fencing at Detention Basin to match. Fences and walls not otherwise described in these guidelines shall be split faced finish on both sided. Fences and walls not otherwise described in these guidelines shall be compatible with the architectural vocabulary of the project and shall be approved to the satisfaction of the Community Development Director.



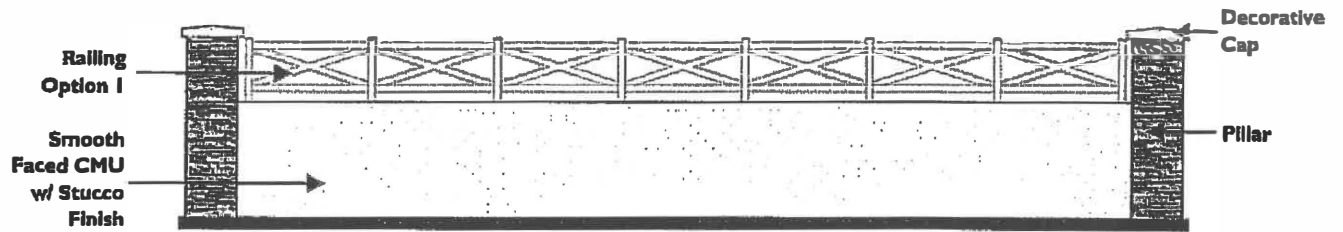
EXAMPLE 1A, 1B – Site Perimeter Wall

Architecture

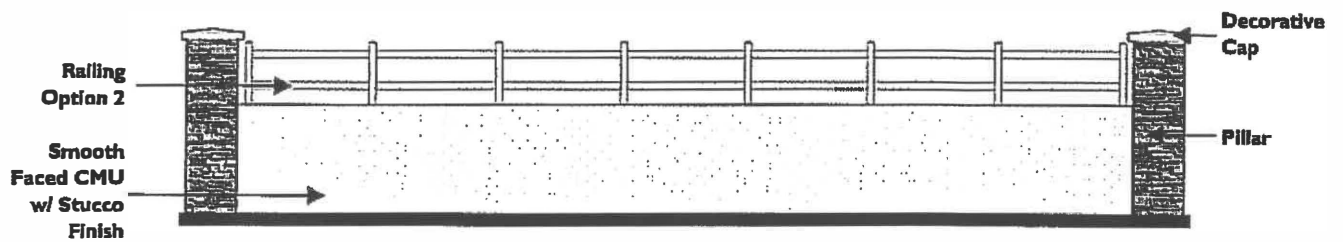
Wall Types

Retaining Walls, Site Perimeter Walls and Fence (cont.):

A smooth faced CMU wall with a stucco coating is located at the secondary entrance along Granite Drive.

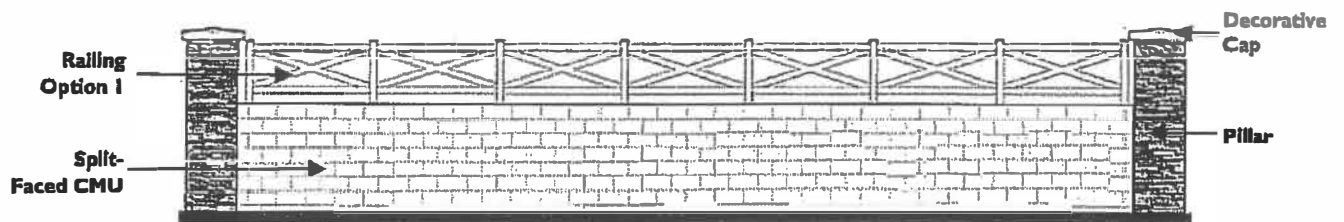


EXAMPLE 2A – Site Perimeter Wall

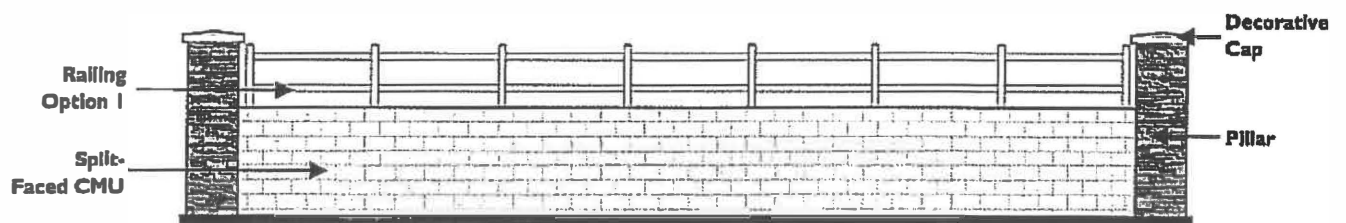


EXAMPLE 2B – Site Perimeter Wall

A split-faced CMU wall is located along portions of the northern and southwestern property line.



EXAMPLE 3A – Site Perimeter Wall



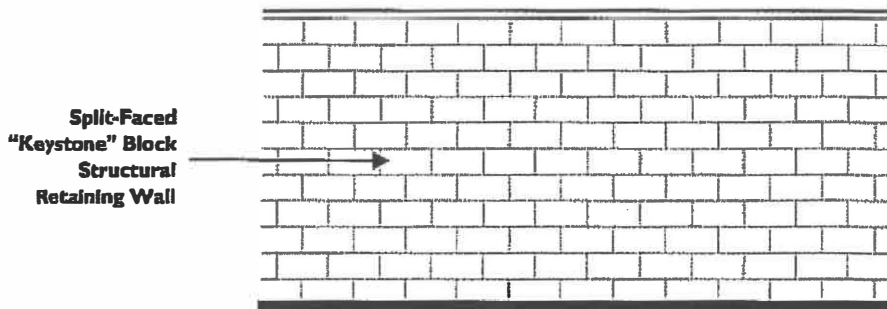
EXAMPLE 3B – Site Perimeter Wall

Architecture

Wall Types

Retaining Walls, Site Perimeter Walls and Fence (cont.):

A split-faced "keystone" CMU retaining wall is located at the secondary entrance along Granite Drive.



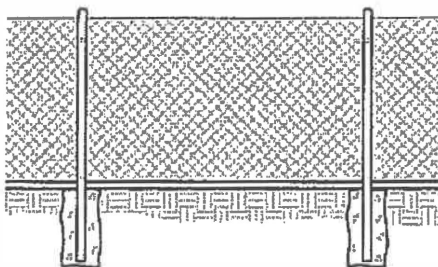
EXAMPLE 4 – Retaining Wall

A Rockery Wall is located along Granite Drive adjacent to the public right of way.



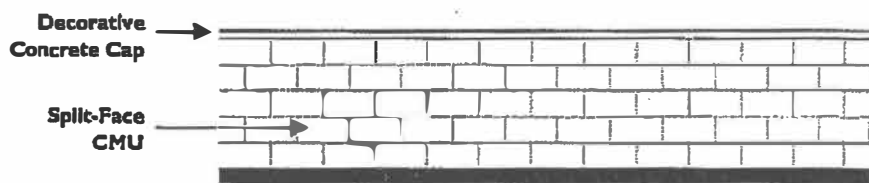
EXAMPLE 5 – Site Perimeter Wall

A chain link fence (matching the existing CAL-Trans fence) will surround the detention basin and connect to the existing CAL-Trans chain link fence along the eastern property line.



EXAMPLE 6 – Site Perimeter Wall (at Detention Basin & CAL-Trans R.O.W. only)

A 3ft. (min.) high wall is required to screen car lights in a drive-thru from the public way.



EXAMPLE 7 – Site Perimeter Wall

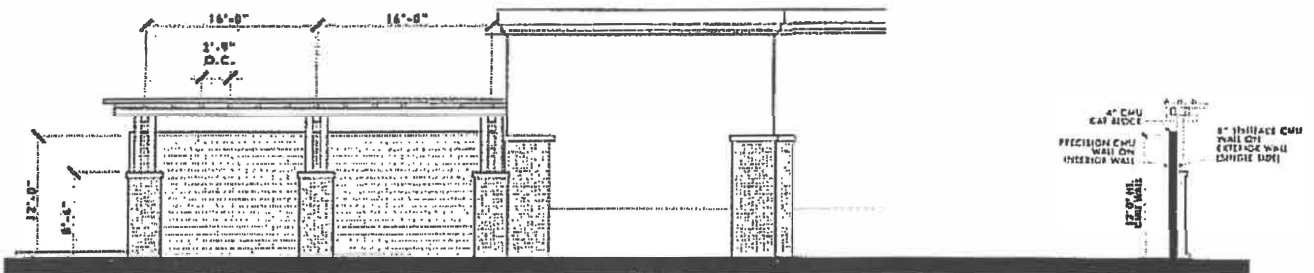
Architecture

Wall Types

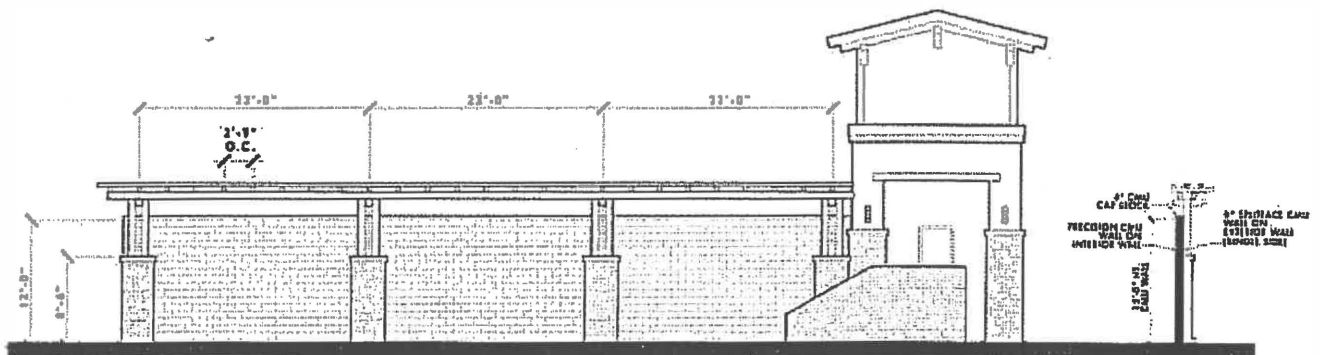
Trash Compactor and Loading Dock Screen Walls:

Walls constructed for the purpose of shielding trash compactors shall be constructed of 8" single-sided split faced CMU with the side interior to the compactor being of precision finish. (12'-0" high minimum)

Screen walls shall have decorative pilasters in order to break up the CMU wall.



EXAMPLE - Typical Trash Compactor Screen Wall



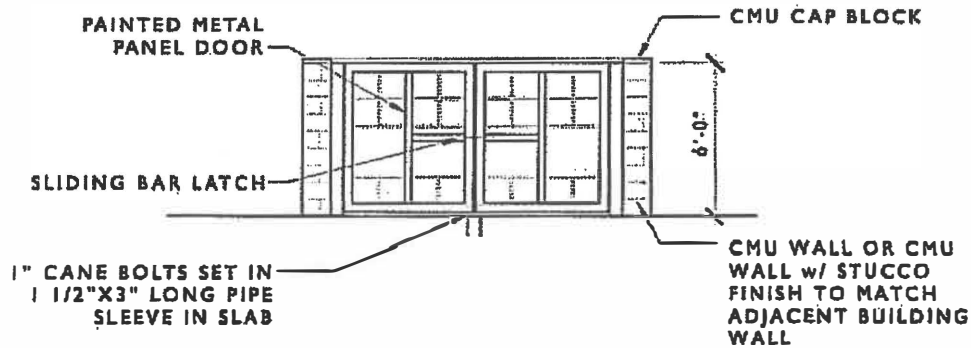
EXAMPLE - Typical Loading Dock Screen Wall

Architecture

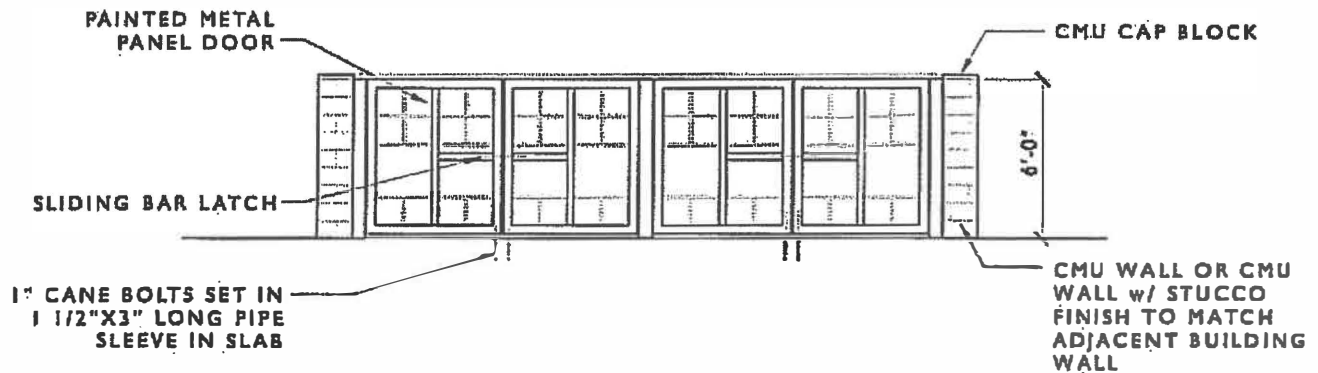
Wall Types

Trash Enclosure and Bale and Pallet Walls:

Bale and Pallet Storage walls shall be constructed similar to the trash compactor enclosure and loading dock screen walls



EXAMPLE - Typical Trash Enclosure Detail (Single)



EXAMPLE - Typical Bale and Pallet Enclosure Detail

Service Area Enclosures:

Solid walls in CMU block or CMU block with stucco finish to match the finish of the adjacent building may be used at enclosures in service areas. Height shall be as required to screen enclosed materials.



**ROCKLIN
COMMONS**
SIERRA COLLEGE BOULEVARD AND INTERSTATE 80

**General Development Plan
Appendix 'A'**

Sign Program Guidelines

OCTOBER 6, 2009



**DONAHUE
SCHRIBER**



TABLE OF CONTENTS

Introduction.....	3
Purpose and Intent.....	3
Objectives.....	3
Enforcement.....	3
Project Directory.....	4
General Provisions.....	5
Sign Program Guidelines.....	6
Acceptable Sign Approaches & Types.....	8
Discouraged Sign Approaches & Types.....	10
Sign Area Measurement.....	11
Primary Major Tenants from +80,000 sq.ft.....	12
Secondary Major Tenants from 20,000 to 79,999 sq.ft.....	13
Secondary Major Tenants from 12,000 to 19,999 sq.ft.....	14
Multi Tenant PAD Buildings & Inline Tenants.....	15
Single User PAD Tenants & Fast Food Drive-Thru.....	16
Site Plan - Freestanding Signs.....	17
Sign Type 1 - Three Sided Freeway Tower.....	18
Sign Type 2 - Two Sided Freeway Pylon.....	19
Sign Type 3 - One Sided Monument.....	20
Sign Type 4 - Directory.....	21
Sign Type 5 - Two Sided Directional / One Sided Menu Board.....	22
Sign Type 6 - Entry Obelisk.....	23
Sign Type 7 - Environmental Graphics.....	24
Sign Type 8 - Center Identification.....	27
Sign Type 9 - Environmental Graphics.....	28
Materials and Finishes.....	29

INTRODUCTION

This document establishes guidelines intended to control the design, implementation, and regulation of project and tenant signage as well as site signage and thematic graphics and design at Rocklin Commons, Rocklin, California.

All criteria contained within this Sign Program are considered to be a supplemental addition to the City of Rocklin Sign Ordinance.

The Developer may implement any or all of the sign types outlined herein in accordance with these criteria and subject to the approval of the City of Rocklin, California.

Purpose and Intent

The signage and graphics described in this section have been designed to enhance the image of Rocklin Commons as a regional shopping center. The design of all graphics has been carefully considered in relation to the site architecture and landscaping, as well as to the specific context of the location of the project. On a functional level, signage is provided for the identification of the center and its major tenants along freeway and street frontages, as well as to meet the wayfinding and identification needs of patrons once they have entered the site. Design details have been introduced in the Sign Program which are intended to establish brand identity and add value to the guest experience.

Objectives

The objectives of this Sign Program are:

- To generate creative and tasteful signage that establishes the shopping center's image and that compliments architectural and landscape elements.
- To provide signage that is functional and effectively serves the identification and wayfinding needs of the tenants and customers.
- To facilitate the review and approval process for signage by providing guidelines and criteria that constitute standards of acceptability for signs within the project.
- To generate signage that is compatible with adjacent properties.

Enforcement

Conformity with these guidelines will be enforced by the Developer and the City of Rocklin. Any non-conforming or unapproved sign will be brought into conformity at the expense of the Tenant.

PROJECT DIRECTORY

Owner

Rocklin Pavilions, LLC
Rocklin Pavilions Sales, LLC
C/o Donahue Schriber Asset Management Corporation
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(626) 917-6800 Tel
(626) 917-6808 Fax
Phillip Rudy - Principal

Email: prudy@wp2dc.com

GENERAL PROVISIONS

- All sign types will require written approval of the Developer/Manager and the City of Rocklin. Sign permits from the City are required prior to installation. Prior to manufacture of any sign in the center, the Tenant shall submit to Developer for approval, two (2) copies of detailed shop drawings. These drawings shall include the building elevation to which the signs are to be attached, proposed sign materials, dimensions, graphics, location, colors, and method of attachment. Drawings are to be submitted in PDF format via e-mail.
- All signs shall be reviewed for conformance with this criteria and overall design quality. Approval or disapproval of sign submittals based on aesthetics and proposed execution of design shall remain the right of the Developer.
- Each Tenant shall pay all costs for its' signs including manufacture, installation, maintenance, and applicable city permits.
- Each Tenant shall be fully responsible for and repair any damage to any surface caused by the signage or its installation.
- Developer reserves the right to periodically hire an independent electrical engineer, at Tenant's sole expense, to inspect the installation of all Tenants' signs. Tenants will be required to have any discrepancies and/or code violations corrected at Tenant's expense. Any code violations, requests for sign removals, or discrepancies not corrected within fifteen (15) days of notice, may be corrected by the Developer at Tenant's expense.
- Tenant's sign contractor shall carry workman's compensation and public liability insurance against all damage suffered or done by any and all persons and/or property while engaged in the construction or erection of signs in the amount of \$1,000,000 per occurrence. Evidence of this insurance must be provided to Developer prior to installation naming Donahue Schreiber Realty Group LP, or other party as may be required, as additional insured.
- Upon vacancy, Tenant shall remove sign and restore fascia to original condition at Tenant's sole cost and expense within fifteen (15) days of expiration of term or earlier termination of Tenant's lease.

SIGN PROGRAM GUIDELINES

The following are general guidelines to be used in the development of all signage and graphic elements:

- Signs shall be designed in a manner that is not only imaginative but also of high graphic quality. In addition, signs should be compatible with and complementary to adjacent facades.
- Notwithstanding the maximum square footages specified for copy area allowances, signs and typography in all cases shall appear balanced and in scale within the context of the sign space and the building as a whole. Signs shall be centered horizontally and vertically over each Tenant space unless otherwise directed by Developer and approved by the City of Rocklin. Generally, signs shall look proportionate in height and width to the architectural facade to which those signs are affixed unless otherwise specified in this document.
- Signage and environmental graphics should be conceived as an integral part of the design, and not applied as an afterthought.
- There is no limit on the number of building signs per tenant building frontage provided the sign area limitations are not exceeded.
- All tenants are allowed window graphics. Window graphics are signs which are applied directly to the storefront glass. Tenants may incorporate window graphics onto their storefront glazing in addition to their primary sign. The graphic elements are allotted a maximum of 35% of total window area. Such elements will be permitted: non-illuminated, painted or screen-printed onto window glazing. For the purpose of defining window area, multiple windows separated by mullions or frames of less than four (4) inches are considered a single window.
- Nationally recognized Tenant whose lease space is in excess of 1,000 sq. ft. may use a crest, shield, logo, or other established corporate insignias, subject to restrictions further defined herein.
- All signs should fit comfortably into their storefront architecture, leaving sufficient margins and negative space on all sides. Thickness, height, and colors of sign lettering and graphics should be visually balanced and in proportion to other signs on the building. Signs shall be centered over tenant's entry whenever possible.
- Location of sign placement shall be approved by Developer.
- All illuminated signs must be controlled by Developer house panel and time clock, illuminated during general operating hours as defined by the Owner/Developer unless otherwise agreed.
- All signs shall be presented to the Developer for approval prior to commencement of fabrication and permit approval.
- All signage should be placed out of reach.
- All signage lighting should be baffled or concealed. Light leaks will not be permitted.
- The light from any illuminated sign shall be so shaded or directed that the light intensity or brightness shall not cause adverse glare to surrounding areas.
- Exposed signage lamps and fixtures are subject to approval by the Developer.

SIGN PROGRAM GUIDELINES (cont.)

- Tenant signs that incorporate logos, business identities and /or images denoting the type of business shall be encouraged. Logo design and color to be approved by Developer.
- Wall signs shall be pegged from wall 1/2" minimum to allow for drainage.
- Signs shall be mounted without visible means of attachment, unless attachments make an intentional statement.
- All logo images and type-styles shall be accurately reproduced. Lettering which approximates type-styles will not be accepted. The Developer reserves the right to reject any fabrication work deemed to be sub standard.

Sign construction and maintenance

- All signs and their installation shall comply with all applicable City building and electrical codes, and bear the UL label.
- Tenant's sign contractor shall completely install and connect sign display and primary wiring at sign location per Developer's approval, unless otherwise directed. Signs are to be connected to the junction box provided by the Developer.
- All penetrations of exterior fascia are to be sealed water tight, and finished to match adjacent material.
- All signs shall be kept in good condition, free of corrosion, be legible, adequately repaired, maintained, and painted by the Tenant thereof at all times. All repairs shall be equal in quality and design to the original signs. The standards for maintenance and repair of signs shall be that which will assure the highest visual quality.

Acceptable Sign Approaches & Types

The following list is a broad suggestion of sign design solutions. ALL sign designs are subject to the approval of Owner/Developer.

- Reverse channel lettering (halo lit).
- Individual channel letters with push through acrylic faces and internal illumination.
- Dimensional letter forms with seamless edge treatments.
- Etched metal or glass, sandblasted glass.
- Dimensional shapes and forms of metal, hardwood, glass, sign foam, or other material with a permanent appearance.
- Glazed ceramic tile work forming patterns and/or fields, subject to height and area restrictions.
- Front lighting subject to Developer's approval.
- Mixed media signs incorporating multi-dimensional forms and combinations of colors, shapes, materials, and lighting.
- Application of materials, finishes and colors as culled from the immediately adjacent architecture.
- Cut or fabricated steel, painted or unfinished.
- Silhouette or halo illumination.
- Open face channel letters or logo with exposed neon.

Example A
Illuminated LEXAN FACED CHANNEL display with THROUGH FACE ILLUMINATION.
Use standard aluminum construction with Macchews (or equivalent) satin acrylic polyurethane finish.
Faces use translucent Lexan with trim cap.
Illuminate with 30 ma neon or fluorescent tubes.
Paint remains any color.

Example B
Illuminated REVERSE PAN CHANNEL display with HALO ILLUMINATION.
Use standard aluminum construction with Macchews (or equivalent) satin acrylic polyurethane finish.
Illuminate with 30 ma neon or fluorescent tubes.
Paint faces and returns any color.

Example C
Illuminated LEXAN FACED CHANNEL display with THROUGH FACE ILLUMINATION AND HALO ILLUMINATION.
Use standard aluminum construction with Macchews (or equivalent) satin acrylic polyurethane finish.
Faces use Lexan with trim cap.
Illuminate with 30 ma neon or fluorescent tubes.
Paint remains any color.

Example D
Illuminated ALUMINUM FACED CHANNEL display with THROUGH FACE AND HALO ILLUMINATION.
Use standard aluminum construction with Macchews (or equivalent) satin acrylic polyurethane finish.
Route out aluminum faces where graphics occur and push through Lexan graphics.
Illuminate with 30 ma neon or fluorescent tubes.
Paint faces and returns any color.

Example E
Illuminated ALUMINUM FACED CHANNEL display with THROUGH FACE AND HALO ILLUMINATION.
Use standard aluminum construction with Macchews (or equivalent) satin acrylic polyurethane finish.
Route out aluminum faces where graphics occur and back up with Lexan graphics.
Illuminate with 30 ma neon or fluorescent tubes.
Paint faces and returns any color.



Example A
Illuminated Lexan faced channel with through face illumination.



Example B
Illuminated reverse pan channel with halo illumination.



Example C
Illuminated Lexan faced channel with through face and halo illumination.



Example D
Illuminated aluminum faced channel with through face and halo illumination.



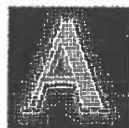
Example E
Illuminated aluminum faced channel with through face and halo illumination.



Example F
Illuminated Lexan faced channel with through face illumination.



Example G
Illuminated reverse pan channel with halo illumination.



Example H
Illuminated flat cut out graphic with exposed neon illumination.



Example I
Illuminated exposed skeleton neon illumination.

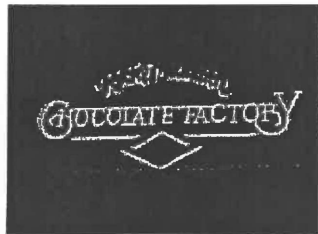
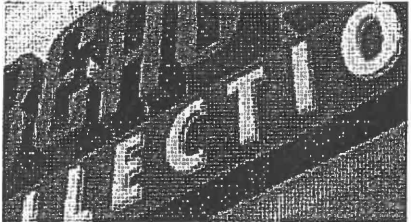
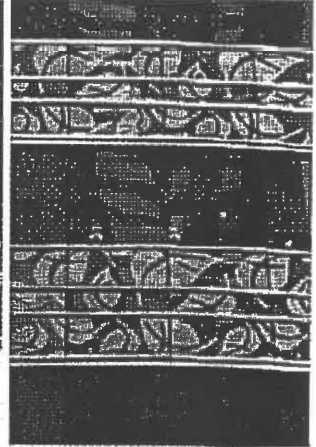
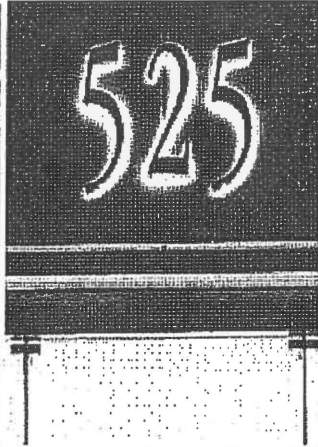
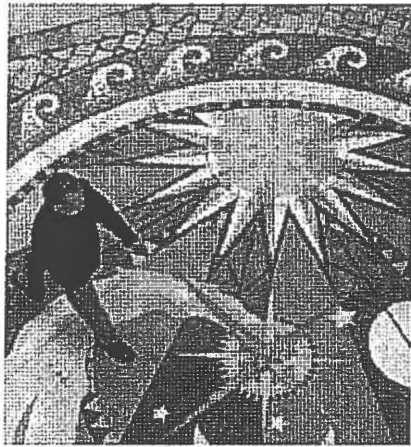
Example E
Illuminated OPEN PAN CHANNEL display with EXPOSED NEON ILLUMINATION.
Use standard aluminum construction with Macchews (or equivalent) satin acrylic polyurethane finish.
Illuminate with 30 ma neon or fluorescent tubes.
Paint faces and returns any color.

Example G
Illuminated FLAT CUT OUT GRAPHIC display with HALO ILLUMINATION.
Use standard aluminum, acrylic or stone construction with Macchews (or equivalent) satin acrylic polyurethane finish.
Illuminate with 30 ma neon halo.
Paint faces and returns any color.

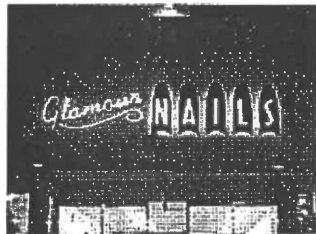
Example H
Illuminated FLAT CUT OUT GRAPHIC display with EXPOSED NEON ILLUMINATION.
Use standard aluminum, acrylic or stone construction with Macchews (or equivalent) satin acrylic polyurethane finish.
Illuminate with 30 ma neon overlays.
Paint faces and returns any color.

Example I
Illuminated EXPOSED SKELETON NEON display.
Use standard exposed neon construction.

NOTE: All signs may utilize digital vinyl printing on faces of illuminated or non illuminated surfaces.



REVERSE PAN CHANNELS WITH OPAQUE FACE & OPEN PAN CHANNELS (EXPOSED NEON)



OPEN PAN CHANNEL LETTERS (EXPOSED NEON) & REVERSE PAN THROUGH FACE AND HALO



FLX FACED CHANNEL THROUGH FACE AND HALO & EXPOSED NEON WITH ALUMINUM FACE OVERLAYS



REVERSE PAN CHANNELS WITH OPAQUE FACE



FLX FACED CHANNEL THROUGH FACE AND HALO

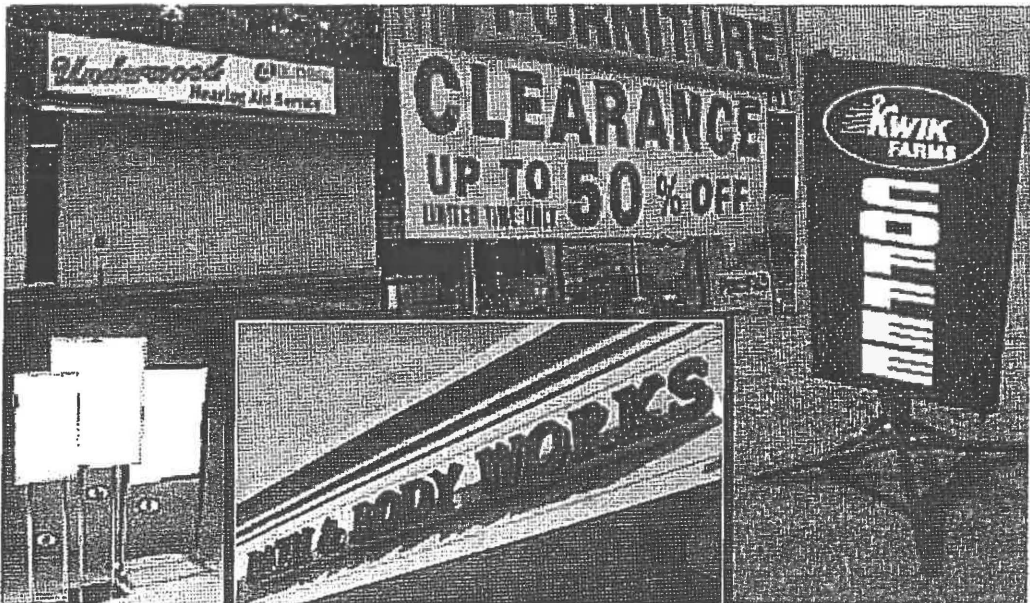


REVERSE PAN CHANNELS & EXPOSED NEON

Discouraged Sign Approaches & Types

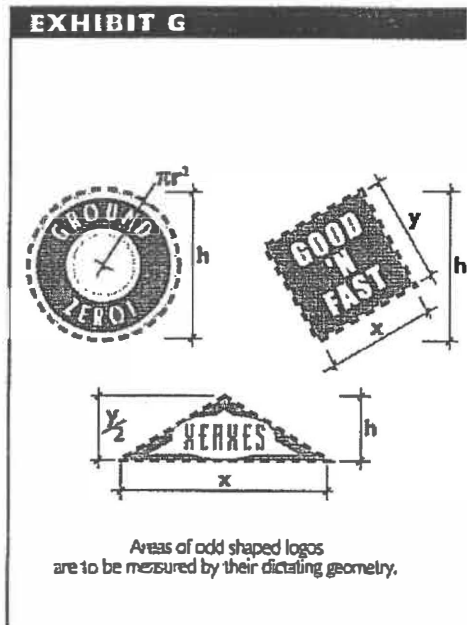
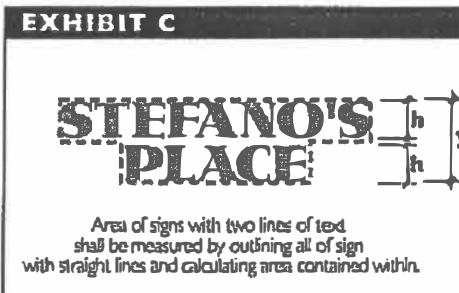
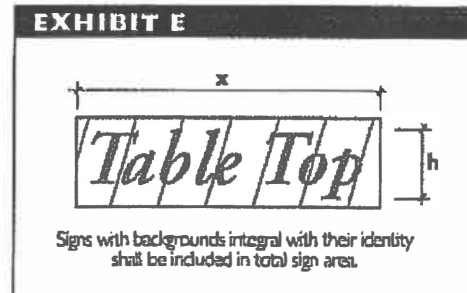
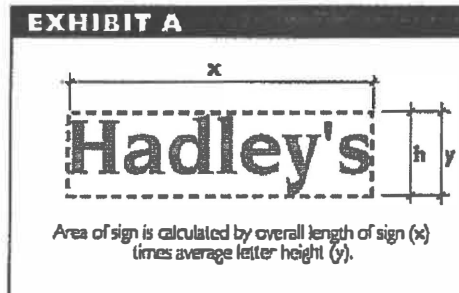
The following types of signs are discouraged:

- Internally illuminated boxed or cabinet type signs. Cabinet signs will not be considered unless they are less than 10% of the total sign area, and one part of tenant's logo only.
- Animated signs: signs consisting of anything swinging, rotating, flashing, blinking, strobing, including any moving electronic message boards or centers, or temporary lighting, such as but not limited to search, flood, or fluorescent gel lights.
- Cloth, paper, cardboard, foam core, gator board, stickers, or decals.
- Temporary signs such as but not limited to banners, streamers and inflatable advertising devices or balloons (except for special sale events, coming soon and grand opening signs as permitted by the City of Rocklin or at the discretion of the Developer).
- Permanent advertising devices such as attraction boards, banners and flags, except where specifically approved by the Developer and the City of Rocklin.
- Exposed junction boxes, transformers, lamps, tubing, conduit, raceways or neon crossovers of any type.
- Signs mounted directly to a raceway.
- Luminous- vacuum formed acrylic signs and letters including pre-manufactured and franchise signs, with the exception of directional signage as approved by the City of Rocklin.



SIGN AREA MEASUREMENT

- The following exhibits illustrate the methods of determining maximum square footages for letter form/logo area allowances.
- Sign area is calculated by multiplying (x) times (y), or by outlining the sign with not more than (8) eight straight lines surrounding the outermost extents of the finished sign and calculating the area contained within. More specific methods depending on individual circumstances are described below. Overall letter form/logo height is always represented by (h).



PRIMARY MAJOR TENANTS FROM +80,000 sq.ft.

Purpose:

To identify the Tenant in a manner that is legible and appropriate to the architectural theme of Rocklin Commons.

Configuration:

Fabricated painted aluminum letter forms and logotype applied to storefront. No signs may be placed above the roof line or be visible from any residential development.

Lighting:

Internally illuminated. The light intensity or brightness shall not cause adverse glare to surrounding areas.

Allowable Sign Area:

- Two (2) square feet for each linear foot of the first 100 feet storefront up to a maximum of 100 square feet. If a tenant's building frontage exceeds one hundred linear feet then one additional square foot of sign area for each additional linear foot of tenant building frontage is allowed.
- Letter/ Logo height (h) shall not exceed 6'-0" on primary signs and 4'-0" on secondary signs or sub-text.
- Window graphics are allowed provided they do not exceed the overall area allowed in R.M.C. 17.75.030.



SECONDARY MAJOR TENANTS FROM 20,000 to 79,999 sq.ft.

Purpose:

To identify the Tenant in a manner that is legible and appropriate to the architectural theme of Rocklin Commons.

Configuration:

Fabricated painted aluminum letter forms and logotype applied to storefront. No signs may be placed above the roof line or be visible from any residential development.

Lighting:

Internally illuminated. The light intensity or brightness shall not cause adverse glare to surrounding areas.

Allowable Sign Area:

- Two (2) square feet for each linear foot of the first 100 feet storefront up to a maximum of 100 square feet. If a tenant's building frontage exceeds one hundred linear feet then one additional square foot of sign area for each additional linear foot of tenant building frontage is allowed.
- Letter/ Logo height (h) shall not exceed 5'-0" on primary signs and 3'-0" on secondary signs or sub-text.
- Window graphics are allowed provided they do not exceed the overall area allowed in R.M.C. 17.75.030.



SECONDARY MAJOR TENANTS FROM 12,000 to 19,999 sq.ft.

Purpose:

To identify the Tenant in a manner that is legible and appropriate to the architectural theme of Rocklin Commons.

Configuration:

Fabricated painted aluminum letter forms and logotype applied to storefront. No signs may be placed above the roof line or be visible from any residential development.

Lighting:

Internally illuminated. The light intensity or brightness shall not cause adverse glare to surrounding areas.

Allowable Sign Area:

- Two (2) square feet for each linear foot of the first 100 feet storefront up to a maximum of 100 square feet. If a tenant's building frontage exceeds one hundred linear feet then one additional square foot of sign area for each additional linear foot of tenant building frontage is allowed.
- Letter/ Logo height (h) shall not exceed 4'-0" on primary signs and 2'-6" on secondary signs or sub-text.
- Window graphics are allowed provided they do not exceed the overall area allowed in R.M.C. 17.75.030.

MULTITENANT PAD BUILDINGS & IN LINE TENANTS

Purpose:

To identify the Tenant in a manner that is legible and appropriate to the architectural theme of Rocklin Commons.

Configuration:

Fabricated painted aluminum letter forms and logotype applied to storefront. No signs may be placed above the roof line or be visible from any residential development.

Lighting:

Internally illuminated. The light intensity or brightness shall not cause adverse glare to surrounding areas.

Allowable Sign Area:

- Two (2) square feet for each linear foot of the first 100 feet storefront up to a maximum of 100 square feet. If a tenant's building frontage exceeds one hundred linear feet then one additional square foot of sign area for each additional linear foot of tenant building frontage is allowed.
- Letter/Logo height (h) shall not exceed 3'-0."
- Window graphics are allowed provided they do not exceed the overall area allowed in R.M.C. 17.75.030.



SINGLE USER PAD & FAST FOOD DRIVE-THRU

Purpose:

To identify the Tenant in a manner that is legible and appropriate to the architectural theme of Rocklin Commons.

Configuration:

Fabricated painted aluminum letter forms and logotype applied to storefront. No signs may be placed above the roof line or be visible from any residential development.

Lighting:

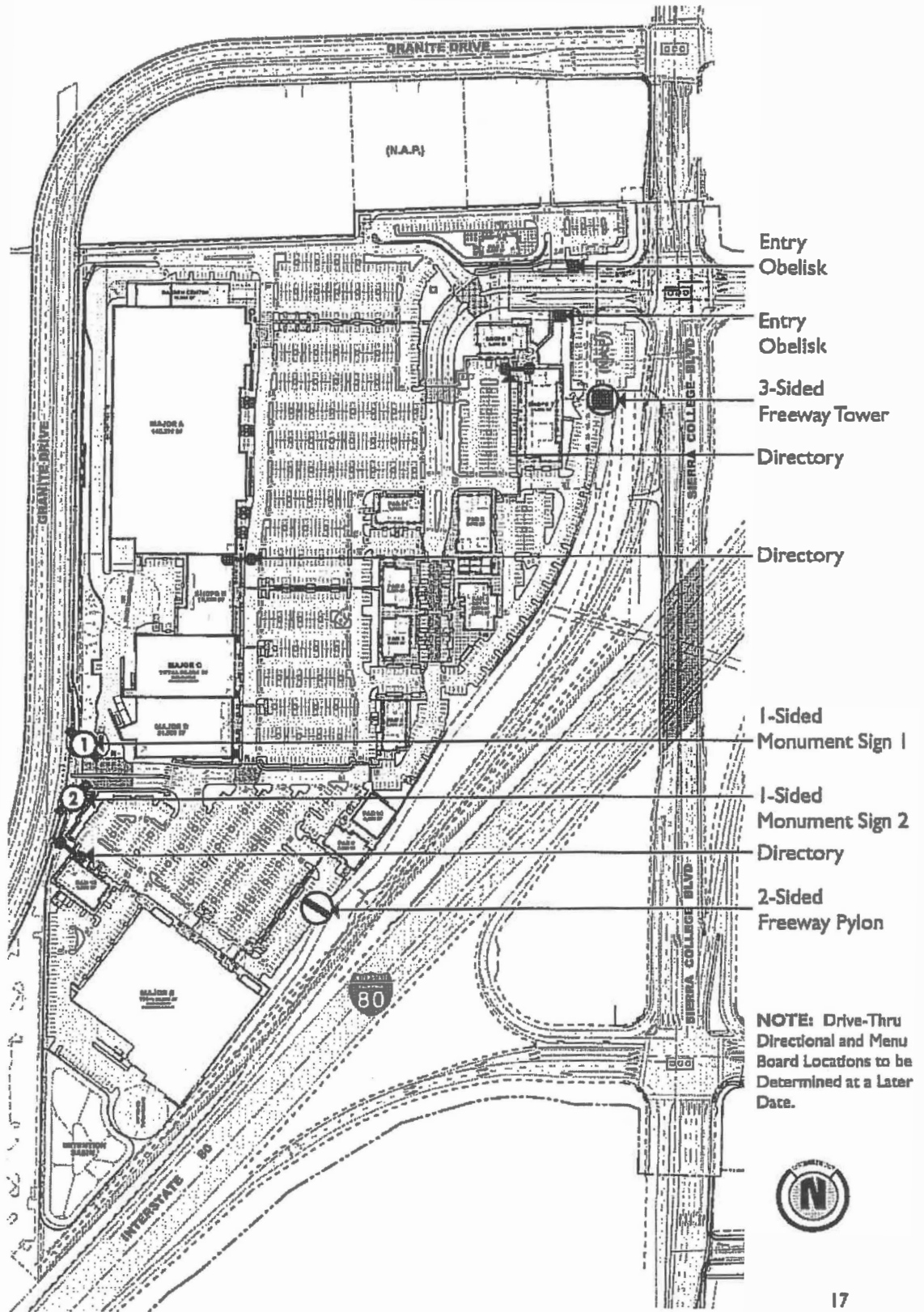
Internally illuminated. The light intensity or brightness shall not cause adverse glare to surrounding areas.

Allowable Sign Area:

- Two (2) square feet for each linear foot of the first 100 feet storefront up to a maximum of 100 square feet. If a tenant's building frontage exceeds one hundred linear feet then one additional square foot of sign area for each additional linear foot of tenant building frontage is allowed.
- Letter/ Logo height (h) shall not exceed 3'-0."
- Window graphics are allowed provided they do not exceed the overall area allowed in R.M.C. 17.75.030.
- Fast Food Drive thru tenants will be allowed two (2) freestanding directional signs and one (1) freestanding menu sign which shall conform to the Exhibit attached (see page 22).



SITE PLAN - FREESTANDING SIGNS



SIGN TYPE I - THREE SIDED FREEWAY TOWER

Purpose:

To identify the Tenants in both directions from Interstate 80 and Sierra College Boulevard in a legible manner and style appropriate to the theme of Rocklin Commons.

Configuration:

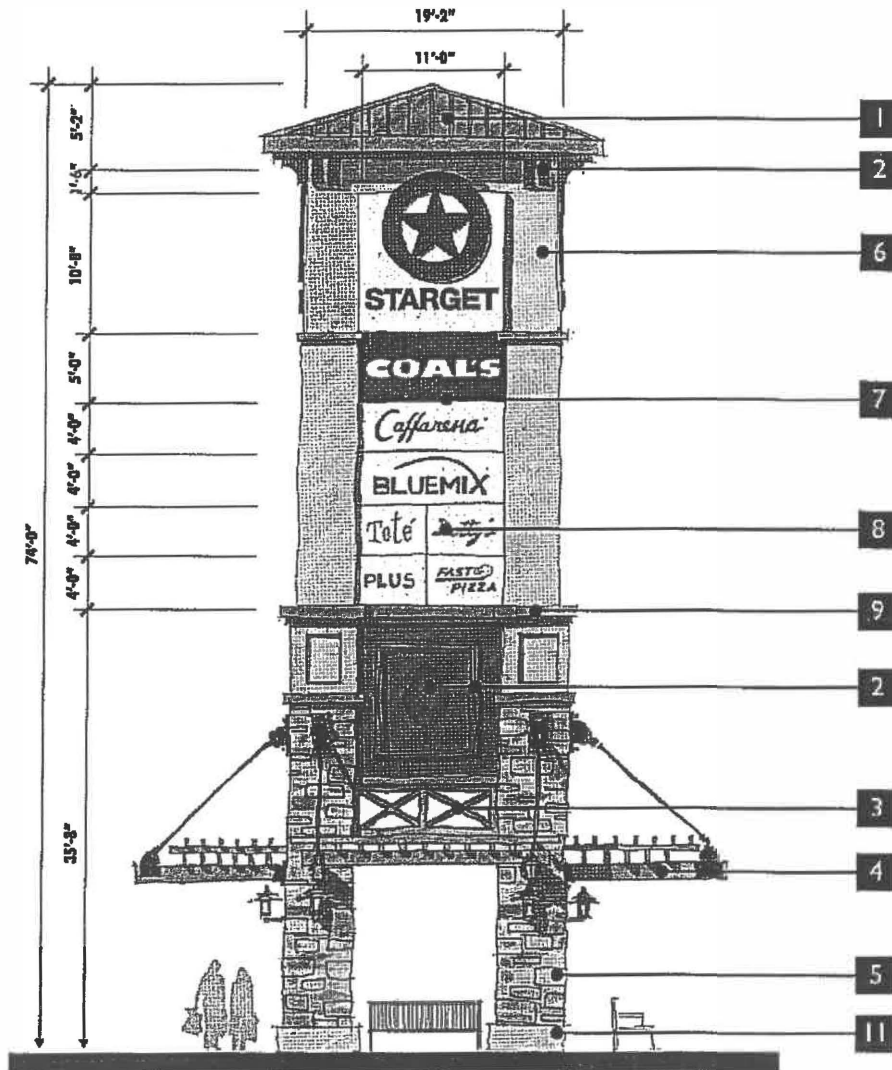
Three (3) sided fabricated aluminum and stone veneer. Materials & colors to match the Shopping Center (see page 29). Base of sign to provide plaza area for adjacent Park and Ride customers.

Lighting:

Internally illuminated with external fixtures to match the Shopping Center.

Allowable Sign Area:

365 Square feet per face.



① 3 - Sided Freeway Tower

SIGN TYPE 2 - TWO SIDED FREEWAY PYLON

Purpose:

To identify the Tenants from Interstate 80 in a legible manner and style appropriate to the theme of Rocklin Commons.

Configuration:

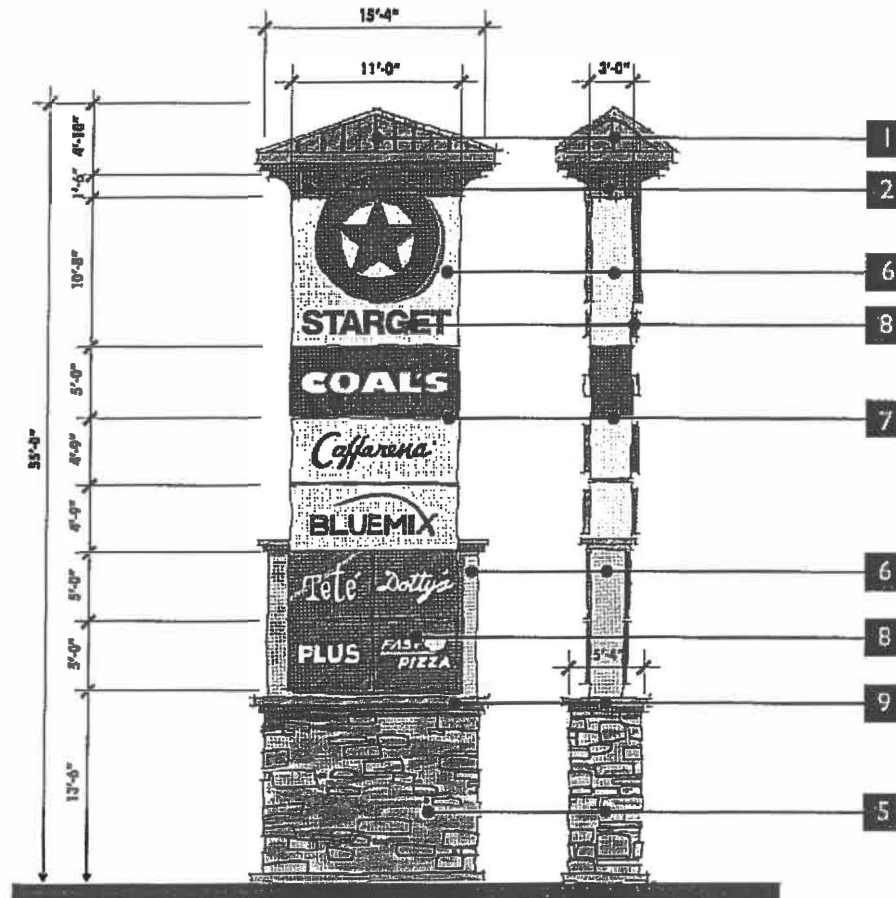
Two (2) sided fabricated aluminum and stone veneer. Materials and colors to match the Shopping Center (see page 29).

Lighting:

Internally illuminated.

Allowable Sign Area:

404 Square feet per face.



② 2 - Sided Freeway Pylon

SIGN TYPE 3 - ONE SIDED MONUMENT

Purpose:

To identify the Tenants from Granite Drive in a legible manner and style appropriate to the theme of Rocklin Commons.

Configuration:

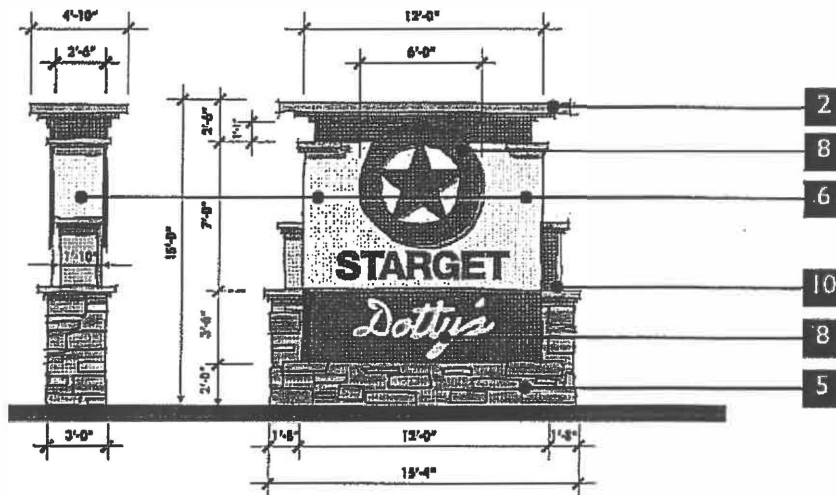
Double-sided fabricated aluminum and stone veneer. Materials and colors to match the Shopping Center (see page 29). Located on either side of the Primary Entry on Granite Drive.

Lighting:

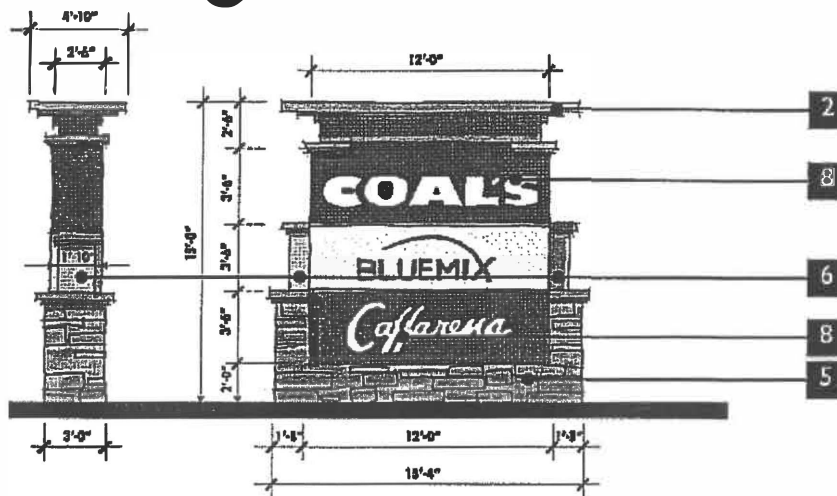
Internally illuminated.

Allowable Sign Area:

126 Square feet per face.



(3A) 1 - Sided Monument Sign 1



(3B) 1 - Sided Monument Sign 2

SIGN TYPE 4 - DIRECTORY

Purpose:

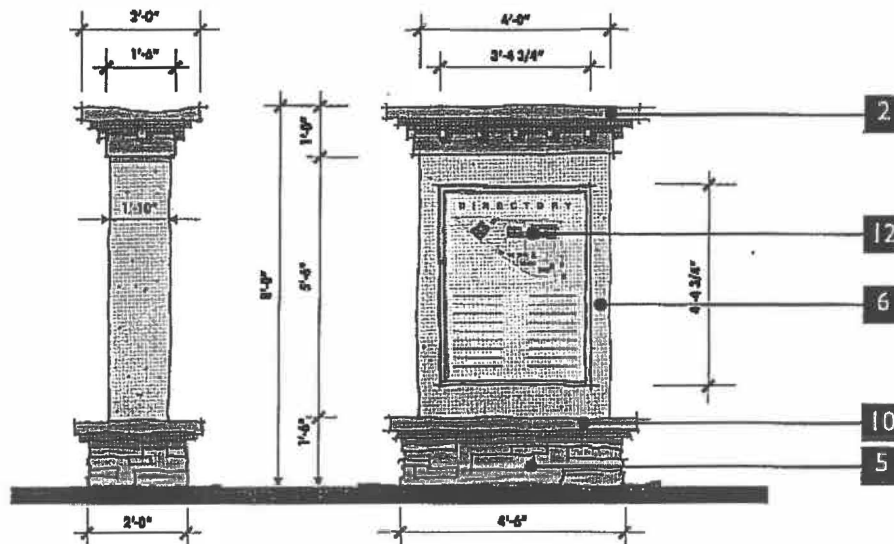
To direct and inform guests on property. Directories may incorporate advertising elements.

Configuration:

Three (3) double-sided freestanding fabricated aluminum directories with tenant names and a map. Materials and colors to match the Shopping Center (see page 29).

Lighting:

Internally illuminated.



④ Directory

SIGN TYPE 5 - TWO SIDED DIRECTIONAL / ONE SIDED MENU BOARD

Purpose:

To direct prospective customers to the Fast-Food Pad Tenant's drive-through queue and inform customers the price of available food.

Configuration:

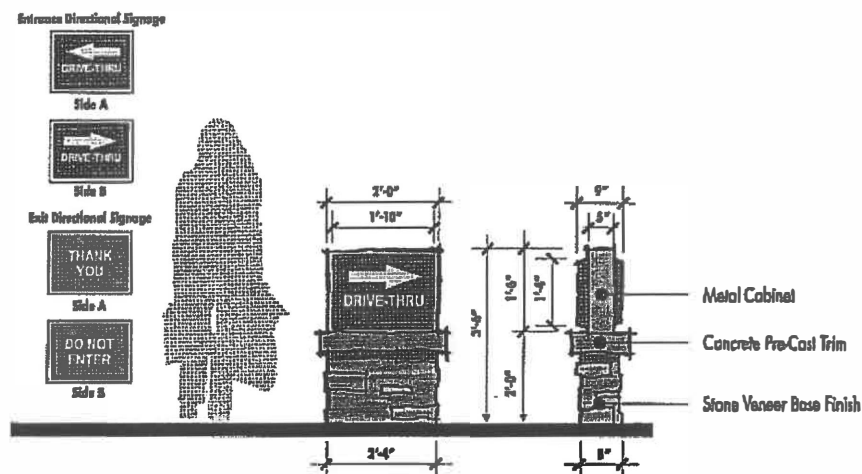
Double-sided/single-sided, internally illuminated plex face sign cabinet, set into stone to match building and stucco wall. Speakers for menus must point away from immediately adjacent residential areas. Materials and colors to match the Shopping Center.

Lighting:

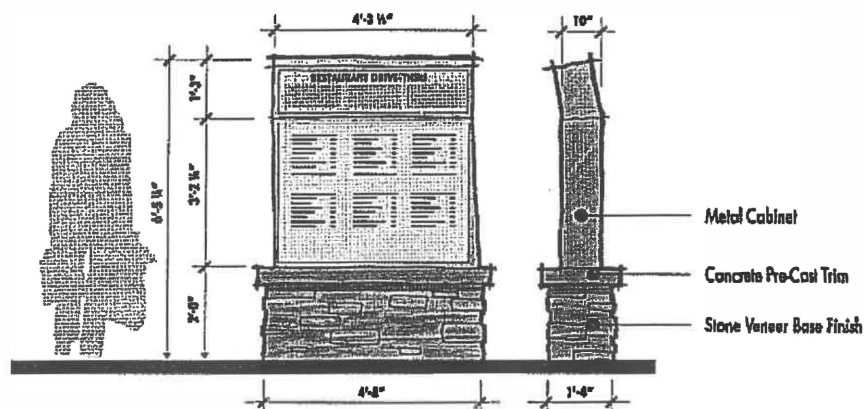
Internally illuminated.

Allowable Sign Area/ Quantity:

Tenant will be allowed two (2) double sided freestanding internally illuminated vehicular directional signs on the shopping center's property. Each sign area not to exceed 4 square feet. Tenant will be allowed one (1) single-sided freestanding internally illuminated menu board adjacent to the vehicular queue. Sign area not to exceed 32 square feet per sign.



5A 2 - Sided Directional Sign



5B 1 - Sided Menu Board

SIGN TYPE 6 - ENTRY OBELISK

Purpose:

To identify the point of entry from Sierra College Boulevard in a legible manner and style appropriate to the theme of Rocklin Commons.

Configuration:

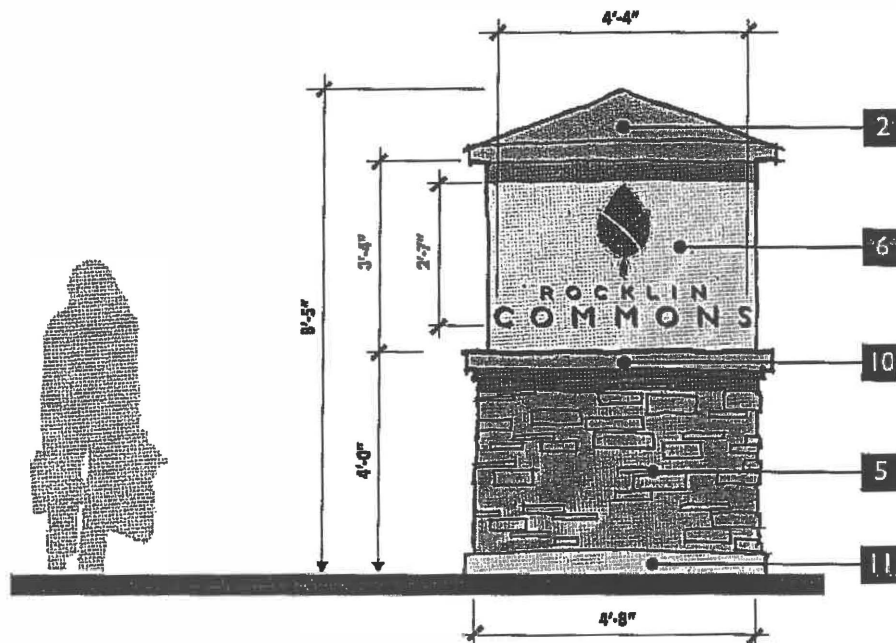
Single-sided, externally illuminated, aluminum frame with stucco finish and stone veneer. Materials and colors to match the Shopping Center (see page 29). Located on either side of the Main Entry on Sierra College Boulevard.

Lighting:

Externally illuminated.

Allowable Sign Area:

Sign area not to exceed 13 square feet per face.



⑥ Entry Obelisk

SIGN TYPE 7 - ENVIRONMENTAL GRAPHICS

Purpose:

Throughout Rocklin Commons, there are certain areas designated for large scale environmental graphics. These environmental graphics shape the center by telling its story as people move through its spaces. Bright, colorfully pleasing images of retail shopping will be consistent in thematic detail throughout the project. Color variations may provide each tenant with unique identities while maintaining the architectural integrity of the project. Environmental graphics communicate identity and information and help to foster customer loyalty. They are a stepping stone to additional business and commercial opportunities. They are strongly encouraged and intended to create a visual link of color and lighting to the tenant buildings. These graphics are designed, installed and maintained by the Developer. The visual content will vary by location and may include lifestyle images with tenant logos, not to exceed 15% of the graphic image or community events at the discretion of the Developer. No images containing violent or explicit content shall be allowed.

Configuration:

Varying sized, single-sided, externally illuminated, digital print on commercial grade vinyl material stretched over frame.

Lighting:

Externally illuminated.

Allowable Sign Area:

Sign area not to exceed 350 square feet per graphic.

NOTE: The final locations of the Environmental Graphics will be approved by the City Planning Director.

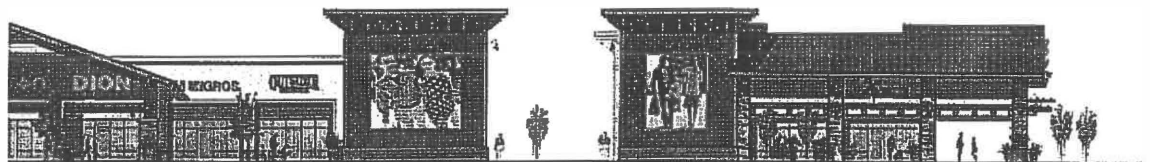


East Elevation

1

2

North Elevation



East Elevation (partial)

3

4

North Elevation

SIGN TYPE 7 - ENVIRONMENTAL GRAPHICS (cont.)

NOTE: The final locations of the Environmental Graphics will be approved by the City Planning Director.



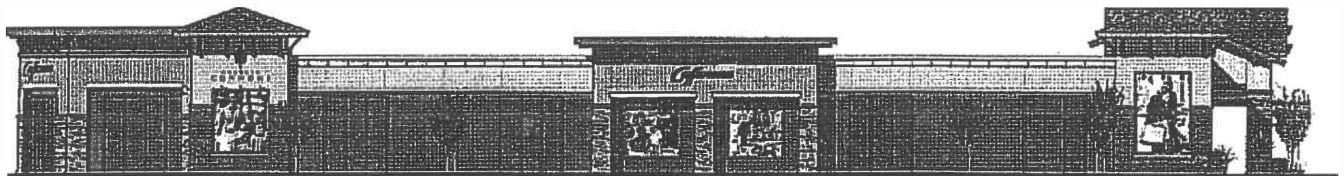
5 West Elevation (partial) 6



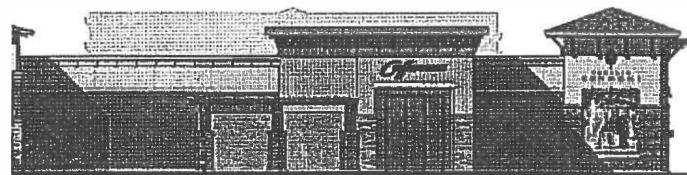
7 East Elevation (partial) 8



9 East Elevation (partial)



10 South Elevation 11 12 13



West Elevation (partial) 14

SIGN TYPE 7 - ENVIRONMENTAL GRAPHICS (cont.)

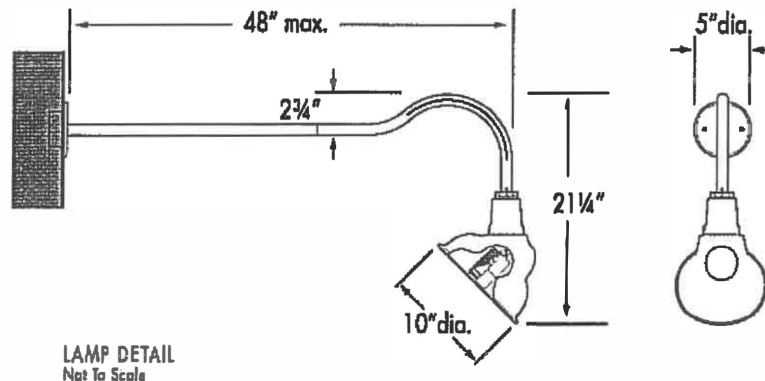


Illumination provided by cantilevered decorative lighting at the top or bottom of each graphic panel or as may be approved by Developer and the City of Rocklin.

Pre-approved lifestyle image to be printed on exterior commercial grade vinyl material and stretched over structural aluminum frame system.

NOTE: The visual content will vary by location and only lifestyle images that relate to the Commons shall be allowed.

PANEL FRONT ELEVATION



LAMP DETAIL
Not To Scale

SIGN TYPE 8 - CENTER IDENTIFICATION

Purpose:

Two wall signs consisting of individual letters and logo which read "Rocklin Commons" will be integrated into an architectural feature at the main arrival point at Granite Drive on the west side of the project.

Configuration:

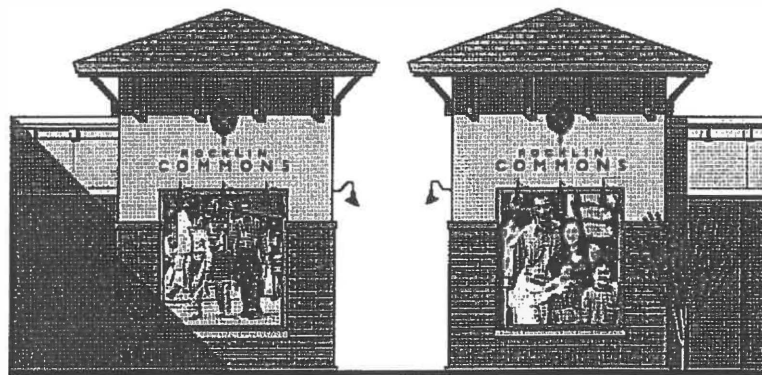
Two (2) fabricated painted aluminum letter forms and logotype applied to building façade. No signs may be placed above the roof line or be visible from any residential development.

Lighting:

Halo lit illumination. The light intensity or brightness shall not cause adverse glare to surrounding areas.

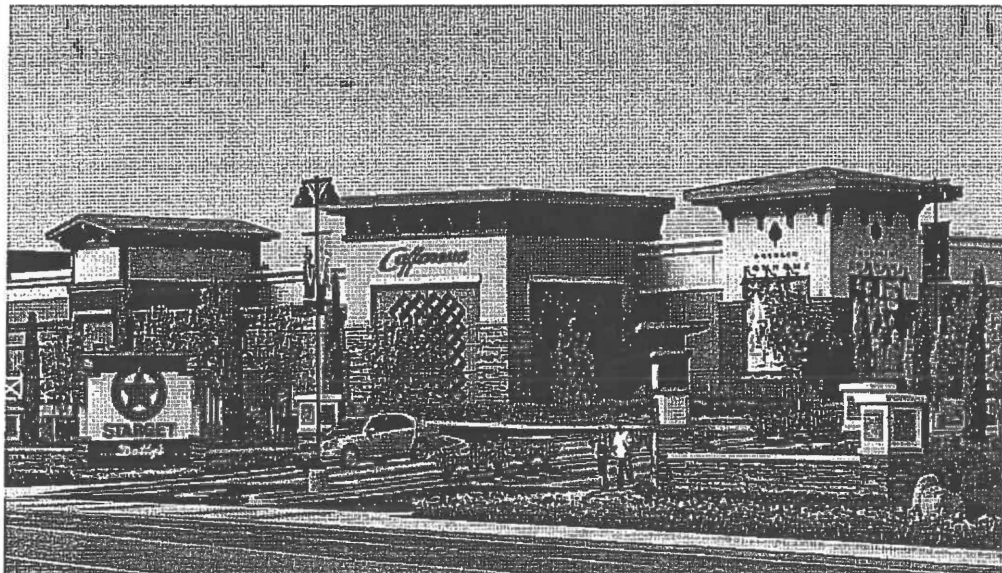
Allowable Sign Area:

Sign area not to exceed 40 square feet per face.



West Elevation (partial)

South Elevation (partial)



SIGN TYPE 9 - GRANITE DRIVE TRIPTYCHS

Purpose:

Up to five (5) sets of three (3) lightbox triptych signs consisting of historical or City of Rocklin themed images will be integrated into architectural elements along the western edge of the property at Granite Drive. These images are to be approved, installed, and maintained by the Developer or its designated representative and will be changed out periodically.

Configuration:

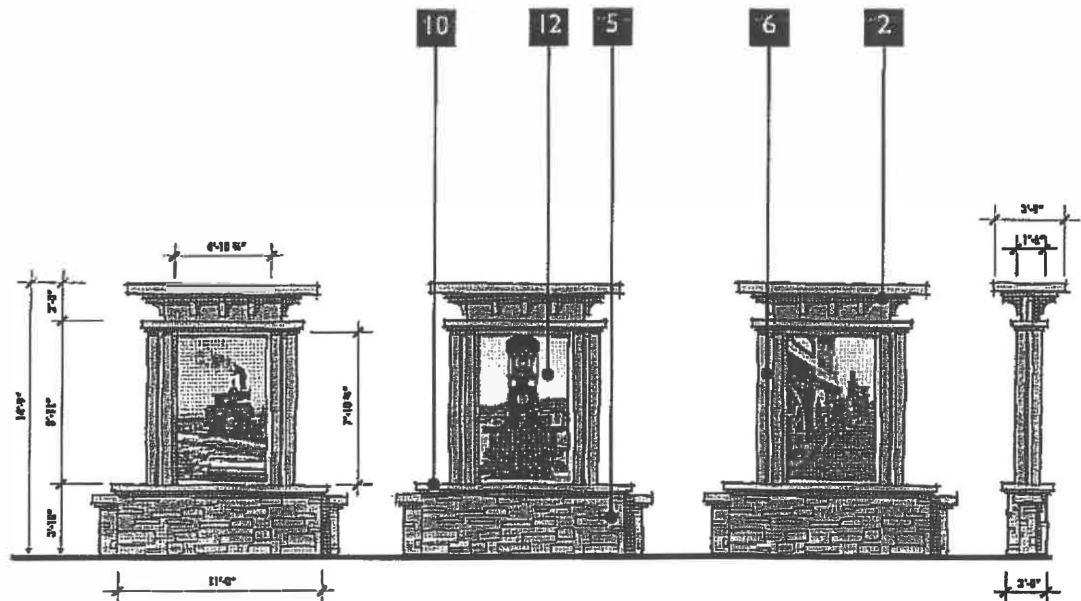
Up to fifteen (15) fabricated outdoor showcase lightboxes with hinged locking door. Materials and colors to match the Shopping Center (see page 29).

Lighting:

Internal illumination with fluorescent or LED lights. The light intensity or brightness shall not cause adverse glare to surrounding areas.

Allowable Sign Area:

Sign area not to exceed 50 square feet per face. Text will be at the discretion of the Developer.



Granite Drive Elevation (partial)

Materials and Finishes

- 1 Metal rooftop with 2 Inch high standing seam.
- 2 E.P.S. molding with painted exterior cement. Color TBD.
- 3 Trim to be constructed out of aluminum or synthetic wood.
- 4 Trellis to be constructed out of aluminum or synthetic wood.
- 5 Stone veneer to match project architecture.
- 6 Aluminum construction with angle frame and painted or integral color "STO" Limestone (stucco) finish. Color TBD.
- 7 Reveal to be minimum 2 inch deep. (Typ.)
- 8 Tenant logos/ letters to be push-thru or individual on metal backgrounds. Logos/ letters to project minimum 1 inch from face.
- 9 Built-up aluminum cornice cap with painted or integral color "STO" Limestone (stucco) finish. Color TBD.
- 10 Precast wall cap with integral color. Color TBD.
- 11 Precast concrete base with integral color. Color TBD.
- 12 Internally illuminated weatherproof cabinet to be constructed out of aluminum. Cabinet door to be tempered glass with rigid frame and two locks keyed alike. Cabinet to have adequate ventilation with bug screens located in inconspicuous areas as required.